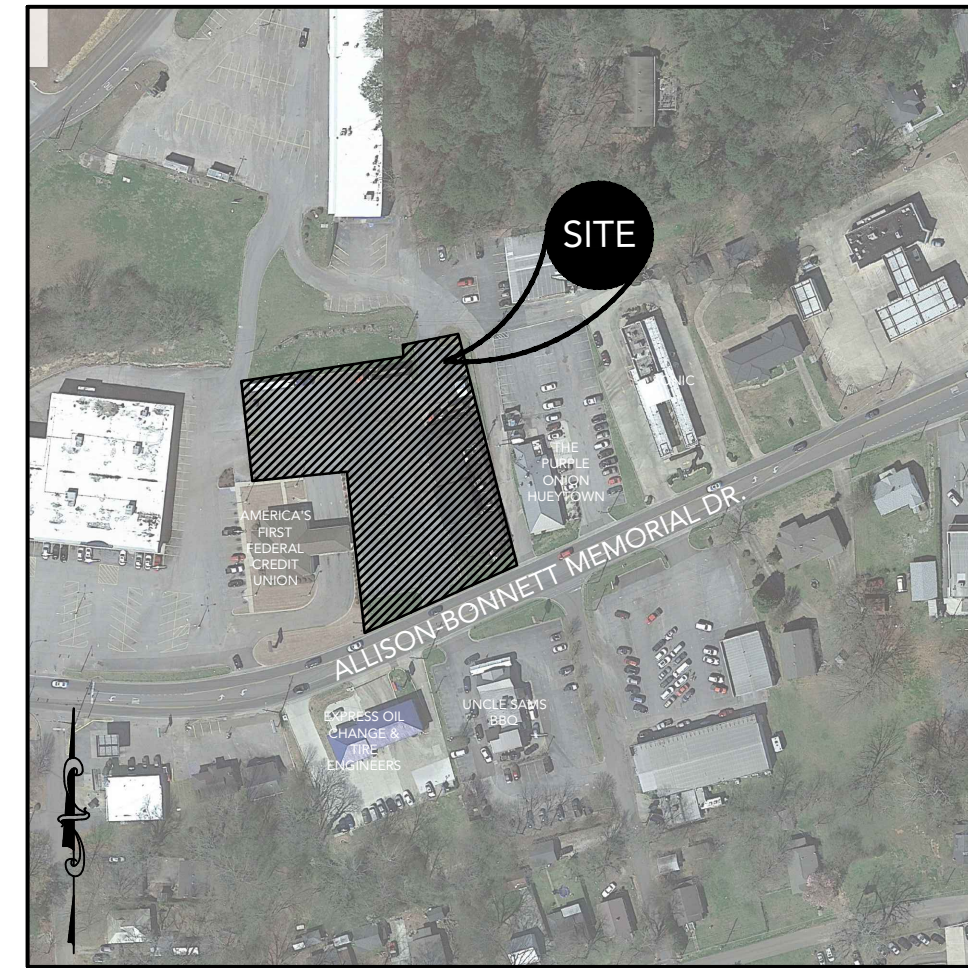
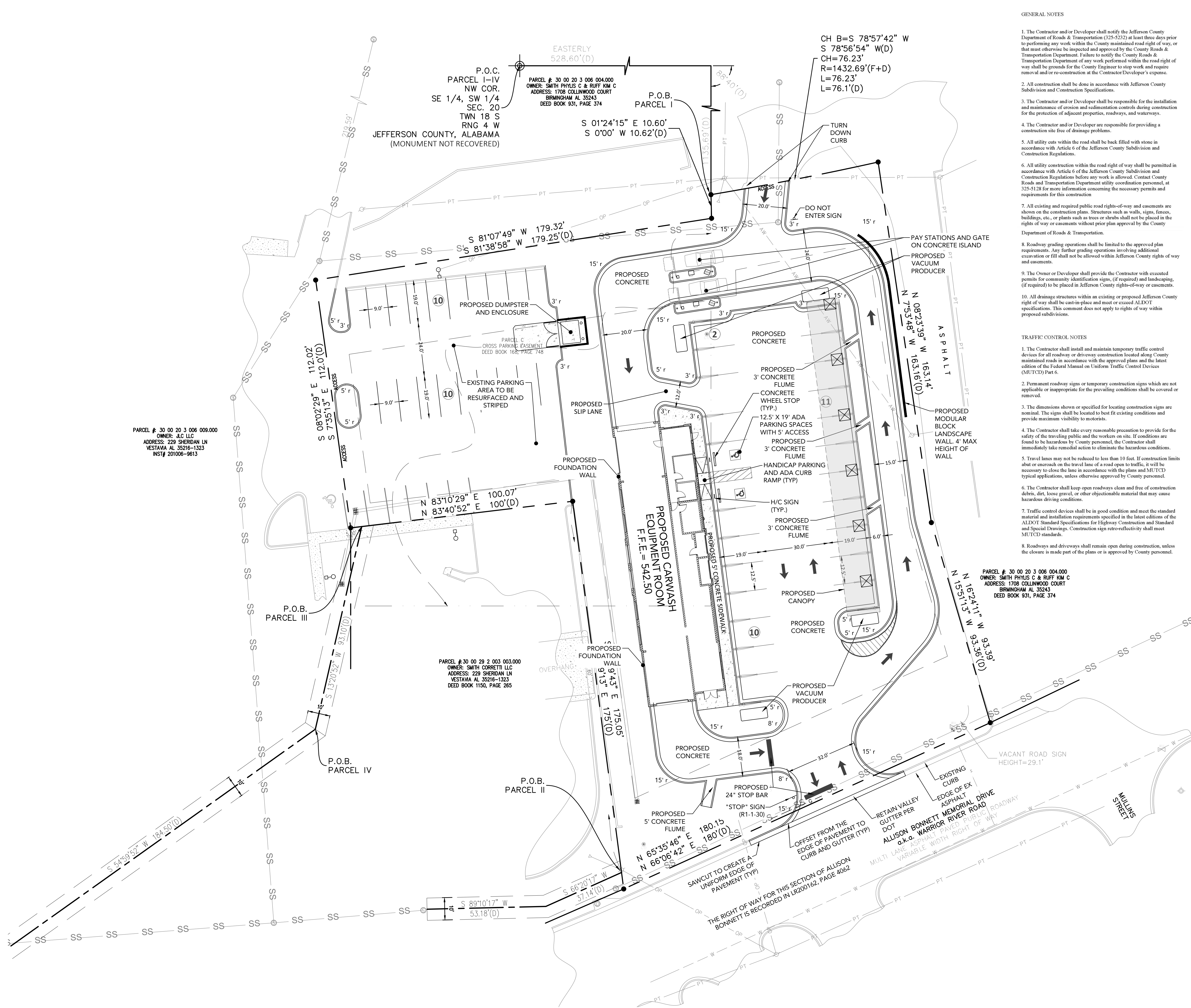


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LOCATION MAP
SCALE: N.T.S.

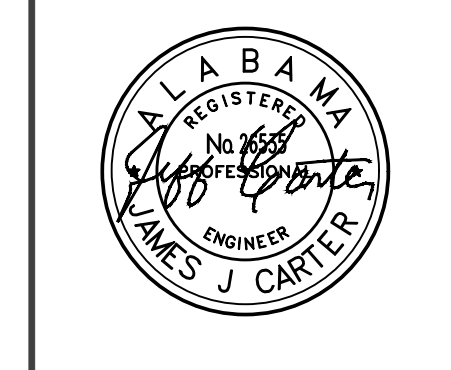
PROJECT INFORMATION	
DRAWING SET PREPARED BY: CARTER ENGINEERING CONSULTANTS, INC. 3651 MARS HILL ROAD, STE 2000 WATKINSVILLE, GA 30677 CONTACT: JEFF CARTER, P.E. PHONE: 770.725.1200 JEFF@CARTERENGINEERING.NET	OWNER/DEVELOPER: MACALLAN REAL ESTATE 1642 POWERS FERRY ROAD SE, SUITE 2084 MARIETTA, GA 30067 CONTACT: MIKE BRADLEY 404.647.4999 MKMIREY@FLOYDDVGROUP.COM

SITE INFORMATION	
JURISDICTION	HUEYTOWN
PROPERTY LOCATION	3046 ALLISON-BONNETT MEMORIAL DRIVE HUEYTOWN, AL 35023
PARCEL NUMBER	30 00 30 006 009 001
CURRENT ZONING	COMMERCIAL B-3
PROPOSED ZONING	COMMERCIAL B-3
OVERLAY DISTRICT	---
EXISTING USE	RESTAURANT WITH PARKING LOT
PROPOSED USE	CARWASH
BUFFERS REQUIRED	---
REQUIRED BUILDING SETBACKS	FRONT: 35-FEET SIDE: 10-FEET REAR: 35-FEET
MAXIMUM LOT COVERAGE	*10%
MINIMUM LANDSCAPE	*10%
MAXIMUM BUILDING HEIGHT	*XX-FOOT
SANITARY SEWER SERVICE	*SANITARY PROVIDER
WATER SERVICE	*WATER PROVIDER
FEMA FLOOD INSURANCE RATE MAP NO.	01073C0528G
FEMA FIRM DATE	09/29/2006
FEMA SFHA ZONE	ZONE X

UNDERGROUND UTILITY DISCLAIMER:
THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD INFORMATION AND/OR EXISTING DRAWINGS. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE OWNER, HIS/HER EMPLOYEES, CONSULTANTS AND CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE CARTER ENGINEERING IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ALL UTILITIES PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER IF A DISCREPANCY IS FOUND. SPECIFICALLY, THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATIONS OF ALL EXISTING STORM AND SANITARY SEWER STRUCTURES PRIOR TO COMMENCEMENT OF STORM AND SANITARY SEWER CONSTRUCTION.

PARKING DATA	
PARKING REQUIREMENTS:	
CAR WASH FULL-SERVICE 1 SPACE PER EMPLOYEE PLUS 4 STACKING SPACES PER BAY	
REQUIRED:	4 EMPLOYEES + 1 BAY = 7 SPACES
HANDICAP:	2 SPACES REQUIRED
PROVIDED:	2 SPACES PROVIDED
	25 VAC-BOOM SPACES
	20 SPACES

REVISION BLOCK	REVISION DATE & DESCRIPTION
1	10/03/22 INITIAL SUBMITTAL
2	11/03/22 ADDRESS ENV SERVICES COMMENTS
3	11/18/22 ADDRESS TRAFFIC COMMENTS
4	11/30/22 RESUBMIT TO HUETOWN
5	11/17/22 ISSUE FOR CONSTRUCTION
6	
7	
8	

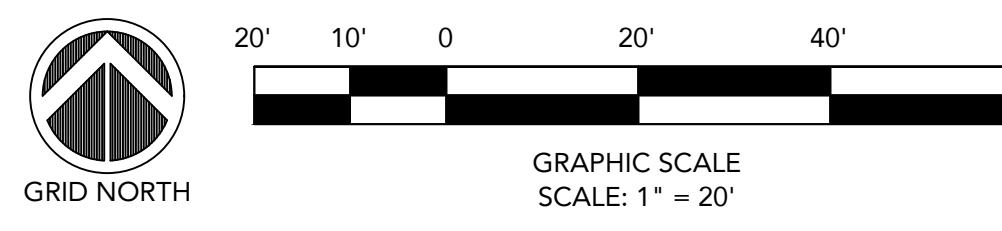


CARTER ENGINEERING

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SITE DEVELOPMENT PLANS
FOR
WHITE CAP AUTO SPA
3046 ALLISON-BONNETT MEMORIAL DRIVE - HUEYTOWN, AL 35023

SHEET TITLE:	SITE PLAN
PROJECT NAME:	SONNY'S CARWASH
SHEET NUMBER:	C 3.0
PROJECT NUMBER:	22014SCW
DATE:	07/20/2022



ENGINEER/DESIGNER NOT RESPONSIBLE FOR COST CHANGES DURING PRELIMINARY PHASE. BIDS & QUOTES SHALL BE BASED ON PLAN SETS LABELED "ISSUE FOR BID". BIDS & QUOTES SHALL BE REVISED BASED ON PLANS LABELED "ISSUE FOR CONSTRUCTION".