

RANDALL MILL - LOT 1



T S ADAMS
STUDIO

ARCHITECTS, INC.

RANDALL MILL LOT 1

RANDALL MILL RD. ATLANTA, GEORGIA

GENERAL NOTES:

- 1) ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL AND MECHANICAL.
- 2) DO NOT SCALE DRAWINGS
- 3) THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER GENERAL GUIDELINES FOR SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTARY DRAWINGS FROM T.S. ADAMS STUDIO.
- 4) IT IS REQUIRED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- 5) DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF FOUNDATION OR FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- 6) IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO CHECK THE STATE AND LOCAL BUILDING CODES, SUBDIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
- 7) ANY DISCREPANCIES CONTAINED WITHIN THE FOLLOWING DRAWINGS/DOCUMENTS ARE TO BE IMMEDIATELY REPORTED TO T.S. ADAMS STUDIO AT 404-262-3499 BEFORE PROCEEDING WITH WORK IN QUESTION.
- 8) ANY DEVIATIONS FROM THE FOLLOWING DOCUMENTS SHOULD BE REPORTED IMMEDIATELY TO T.S. ADAMS STUDIO AT 404-262-3499 BEFORE PROCEEDING WITH WORK. FAILURE TO DO SO IS AT THE BUILDER'S RISK.
- 9) ALL STRUCTURAL MEMBERS TO BE VERIFIED, DESIGNED, AND SIGNED AND SEALED BY STRUCTURAL ENGINEER LICENSED IN THE STATE WHICH THE PROJECT IS BEING CONSTRUCTED.
- 10) ALL WOOD IN CONTACT WITH CONCRETE AND/OR EXPOSED TO THE EXTERIOR ELEMENTS TO BE PRESURE TREATED.
- 11) ALL SHEATHING AND DECKING USED ON EXTERIOR ENVELOPE TO BE OF "EXTERIOR GRADE"
- 12) CERTIFIED UL FIRE SEPARATION/RATED ASSEMBLIES TO BE USED WHERE REQUIRED BY CODE.
- 13) G.C. TO VERIFY & ADHERE TO FIREPLACE MANUFACTURER AND CODE REQUIREMENTS FOR MIN. CLEARANCES OF COMBUSTIBLE MATERIALS AROUND FIREPLACE, INCLUDING, BUT NOT LIMITED TO, FRAMING, SURROUNDING MATERIAL, HEARTH, & FLUE.
- 14) ALL TOILETS MUST HAVE VENTILATION FAN ABOVE IN CEILING IN ACCORDANCE WITH GOVERNING BUILDING CODE.
- 15) ALL BEDROOMS MUST HAVE SMOKE DETECTORS LOCATED OUTSIDE BEDROOM DOOR IN ACCORDANCE W/ GOVERNING BUILDING CODE.
- 16) TEMPERED GLASS TO BE USED IN DOORS & WINDOWS AS REQUIRED BY GOVERNING BUILDING CODE. G.C. TO VERIFY LOCATION OF DOORS & WINDOWS REQUIRING TEMPERED GLASS PRIOR TO FINAL ORDER.
- 17) EXTERIOR PORCHES SHOULD BE SLOPED 1/8" PER FOOT MINIMUM TO ALLOW FOR DRAINAGE OF WATER & TO PREVENT PONDING OF WATER.
- 18) OMITTED
- 19) G.C. TO VERIFY GRADE AGAINST HOUSE/STRUCTURE SLOPES AWAY TO DRAIN WATER AWAY FROM STRUCTURE.
- 20) G.C. TO VERIFY MASONRY WEEPHOLES @ 33" O.C., MAX.
- 21) G.C. TO USE METAL MASONRY TIES. G.C. TO VERIFY W/ STRUCTURAL 0.29 x 7/8" GALV. METAL TIES TO BE USED. EACH METAL TIE MAY NOT SUPPORT AN AREA GREATER THAN 3'-0" SQUARE FEET WITH A MAXIMUM SPACING OF 16" O.C VERTICALLY AND 24" O.C. MAX. HORIZONTALLY.
- 22) G.C. TO VERIFY R-VALUES W/ LOCAL JURISDICTIONS AND GOVERNING CODES BEFORE ORDERING INSULATION.
- 23) SPRAY FOAM INSULATING "R-VALUES:"
ROOF: R-30
FLOOR/CEILING: R-21
EXTERIOR WALLS: R-13
- 24) G.C. TO VERIFY SOIL CONDITIONS BEFORE POURING FOUNDATION.
- 25) TYPICAL SLAB ON GRADE TO BE 4" F.F.P. CONCRETE SLAB W/ 6 x 6 x 10¹⁶ W.W.F. OVER 6 MIL. POLY VAPOR BARRIER OVER 4" GRAVEL BED OVER COMPACTED SOIL. G.C. TO VERIFY W/ STRUCTURAL BEFORE POURING SLAB UNLESS NOTED OTHERWISE.
- 26) ALL WINDOW & DOOR SHOP DRAWINGS REQUIRED TO BE REVIEWED & APPROVED BY ARCHITECT AND OWNER PRIOR TO PLACING ORDER.
- 27) G.C. TO VERIFY LOCATION OF DOORS & WINDOWS REQUIRING TEMPERED GLASS PRIOR TO ORDERING.
- 28) G.C. TO VERIFY WITH ARCHITECT, PLACEMENT OF GUTTERS & DOWNSPOUTS PRIOR TO INSTALLATION.
- 29) G.C. TO VERIFY WITH ARCHITECT, PLACEMENT OF VENTS, INCLUDING BUT NOT LIMITED TO, DRYER VENTS / EXHAUST VENTS, WHICH ARE LOCATED ON EXTERIOR WALLS.
- 30) G.C. TO VERIFY WITH ARCHITECT, MOUNTING HEIGHT & LOCATION OF EXTERIOR LIGHTING PRIOR TO INSTALLATION OF JUNCTION BOXES.
- 31) G.C. TO VERIFY WITH ARCHITECT, MOUNTING HEIGHT & LOCATIONS OF INTERIOR AND EXTERIOR ELECTRICAL SWITCHES PRIOR TO INSTALLATION OF JUNCTION BOXES.
- 32) STONE VENEER/MASONRY LEDGE TO EXTEND A MINIMUM OF 1'-6" BELOW GRADE @ ANY POINT TO PREVENT VISUAL EXPOSURE OF CONCRETE FOUNDATION.
- 33) G.C. TO COORDINATE ELECTRICAL & PLUMBING REQUIREMENTS FOR APPLIANCES, INCLUDING, BUT NOT LIMITED TO REFRIGERATORS & FREEZERS, OVENS, STOVES, GRILLS, VENT HOODS, ICE MAKERS, AND DISHWASHERS.
- 34) G.C. TO VERIFY ALL STRUCTURAL MEMBERS NOTED IN ARCHITECTURAL DRAWINGS, INCLUDING, BUT NOT LIMITED TO STUDS, JOISTS, AND RAFTER SIZES AND SPACING, WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES CONTACT ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH WORK IN QUESTION.
- 35) ALL EXTERIOR MATERIALS, COLORS, STAINS, ETC. TO BE SUBMITTED TO ARCHITECT & OWNER FOR REVIEW & APPROVAL, PRIOR TO FINAL ORDER & INSTALLATION. MATERIAL MOCK-UPS MIGHT BE NECESSARY FOR REVIEW & APPROVAL.
- 36) ALL SILLS & TOPS OF HEADER TRIM @ EXTERIOR WINDOWS TO SLOPE MIN. 5 DEGREES TO SHED WATER PROPERLY.
- 37) ALL WINDOW HEADERS MIN. (2) 2X8 U.N.O.
- 38) ALL WINDOW AND DOOR DIMENSIONS ON SCHEDULE DIMENSIONED TO SASH. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ROUGH OPENING SIZES AND REQUIREMENTS WITH THE CHOSEN WINDOW MANUFACTURER.

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APPLICABLE CODES:

- INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
- INTERNATIONAL PLUMBING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
- INTERNATIONAL FIRE CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014)
- INTERNATIONAL MECHANICAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2015)
- INTERNATIONAL FUEL GAS CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
- NATIONAL ELECTRICAL CODE, 2014 EDITION (NO GEORGIA AMENDMENTS)
- INTERNATIONAL ENERGY CODE, 2009 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2011)(2012)

CONTRACTOR NOTES:

PROJECT TEAM:

SURVEYOR
GREYDEN ENGINEERING
2106 MACY DRIVE
ROSWELL, GEORGIA 30076
CONTACT: RALPH DAVIA @ 770.573.4801 x301

CONTRACTOR
MACALLAN CUSTOM HOMES
1642 POWERS FERRY ROAD SE, SUITE 250
MARIETTA, GEORGIA 30067
CONTACT: DAVID CHILDERS @ 404.603.8833

ARCHITECT
TIM ADAMS, AIA
T. S. ADAMS STUDIO, ARCHITECTS
2969 HARDMAN COURT
ATLANTA, GEORGIA 30305
CONTACT: JUSTIN BELL @ 404.262.3499
JHBELL@TSADAMSTUDIO.COM

LANDSCAPE ARCHITECT
B-C STUDIO, INC.
LAND PLANNING AND LANDSCAPE ARCHITECTURE
1320 ELLSWORTH INDUSTRIAL BLVD. SUITE A-1400
ATLANTA, GEORGIA 30318
CONTACT: JOEL BOWMAN @ 678.990.7691

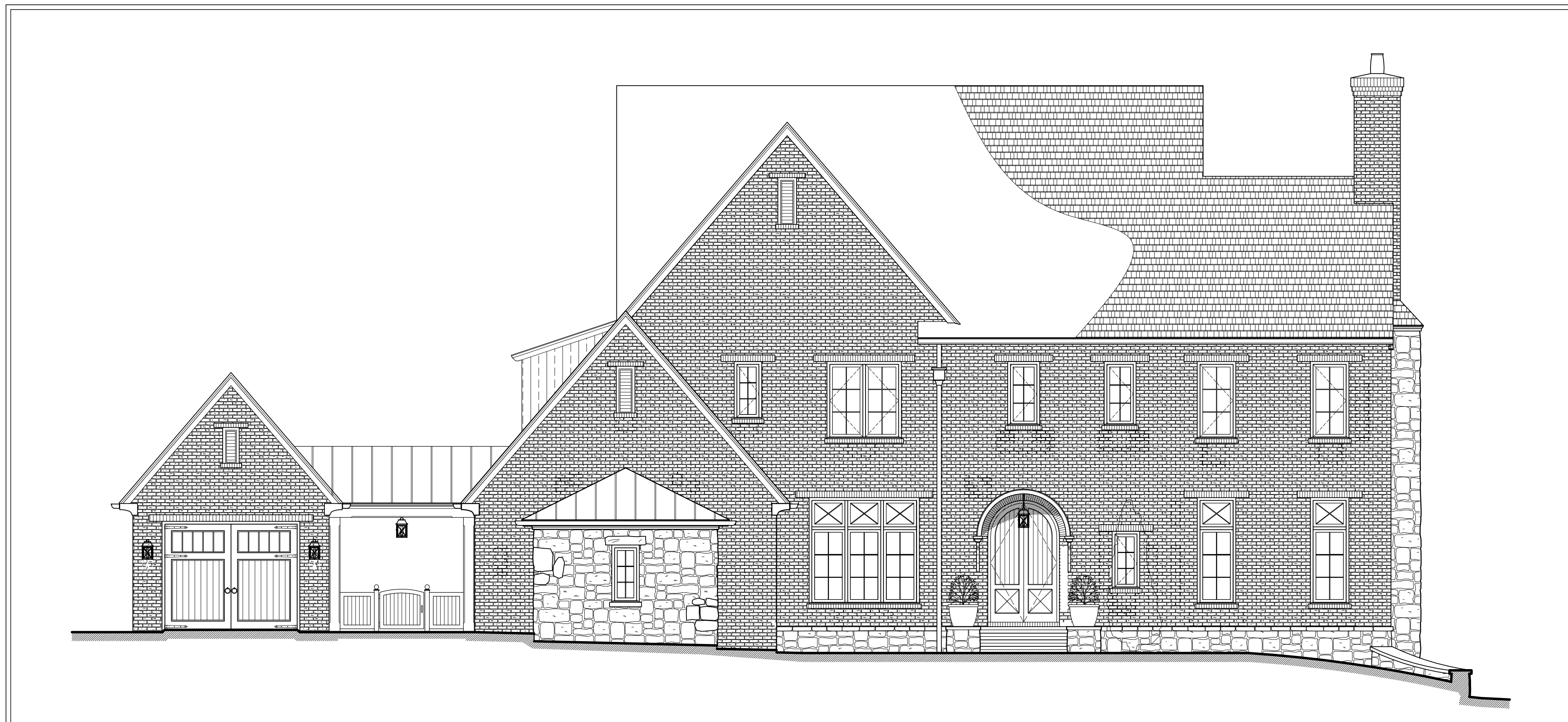
STRUCTURAL ENGINEER
SKYWARK ENGINEERING, P.C.
4343 SHALLLOWFORD ROAD
BUILDING B, SUITE B-1A
MARIETTA, GA 30062
CONTACT: THOMAS TAYLOR @ 770.641.9219

ABBREVIATIONS :

ABB	DESCRIPTION	ABB	DESCRIPTION	ABB	DESCRIPTION	ABB	DESCRIPTION
AFF	ABOVE FINISH FLOOR	DIM	DIMENSIONS(S)	MATL	MATERIAL	ST/STOR	STORAGE
ABV	ABOVE	DWG	DRAWING	MAX	MAXIMUM	STRUCT	STRUCTURAL/STRUCTURE
ARCH	ARCHITECTURAL / ARCHITECT	DBL	DOUBLE	MECH	MECHANICAL	THK	THICK
BYND	BEYOND	DN	DOWN	MIN	MINIMUM	TBD	TO BE DETERMINED
BTM	BOTTOM	EA	EACH	OC	ON CENTER	TO	TOP OF
BO	BOTTOM OF	EL	ELEVATION	OW	OPEN WEB	TYP	TYPICAL
BL	BUILD LINE	ELEV	ELEVATOR	PL	PLATE	T&G	TONGUE & GROOVE
CLG	CEILING	ELLIP	ELLIPTICAL	PIP	POURED IN PLACE	UNO	UNLESS NOTED OTHERWISE
CTR	CENTER	EXT	EXTERIOR	PDR	POWDER ROOM	VIF	VERIFY IN FIELD
CL	CENTER LINE	FIN	FINISH	PT	PRESSURE TREATED	WWF	WELDED WIRE FABRIC
CLO/ CLOS	CLOSET	FLR	FLOOR	R	RADIUS		
CONC	CONCRETE	GEN	GENERAL	RCP	REFLECTED CEILING PLAN		
CMU	CONCRETE MASONRY UNIT	GC	GENERAL CONTRACTOR	REF	REFERENCE		
CONT	CONTINUOUS	HGT	HEIGHT	REP	REPRESENTATIVE		
COORD	COORDINATE	INT	INTERIOR	REQ'D/ REQ	REQUIRED/ REQUIREMENTS		
DEG	DEGREE	LVL	LEVEL	SECT	SECTION		
DIFF	DIFFERENCE/ DIFFERENT	MANUF	MANUFACTURER	SPECS	SPECIFICATIONS		

CONSTRUCTION DOCUMENT ISSUANCE NOTE:

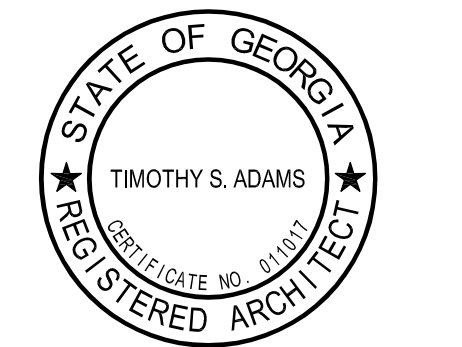
IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL WORK IS BEING PERFORMED OFF OF THE MOST CURRENT DRAWINGS ISSUED. VERIFY DRAWINGS THAT ARE BEING USED ARE THE MOST CURRENT RELEASE BY COMPARING THE DATES LISTED ABOVE (ON SHEET "T.1.1") WITH THE DATES LISTED IN THE TITLE BLOCK OF EACH INDIVIDUAL SHEET. IF THE DATES DO NOT MATCH THEN YOU ARE NOT WORKING ON THE MOST CURRENT ISSUED DRAWING. IF THERE IS ANY QUESTION AS TO WHICH SHEETS ARE THE MOST CURRENT CONTACT THE ARCHITECT IMMEDIATELY.



1 TITLE SHEET
T.1.1 SCALE: NOT TO SCALE

T.S. ADAMS STUDIO
ARCHITECTS, INC.
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ATLANTA, GEORGIA 30305
TEL: 404.262.3499
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83 SOUTH BARBETT SQUARE, SUITE 241
ROSWELL, GEORGIA 30076
TEL: 770.573.4801
FAX: 770.573.4802

GA #RAB11817 GA #RAB11854
FL #AB2315 FL #AB21983
NC #7144 NC #ABR 43210
USVI #9364 NCARB #29210
NCARB #08134



RANDALL MILL - LOT 1
RANDALL MILL RD.
ATLANTA, GEORGIA

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DRAWN BY: MDP

CHECKED: TSA

DATE: JANUARY 27, 2017
ISSUED FOR CONSTRUCTION
REVISION:

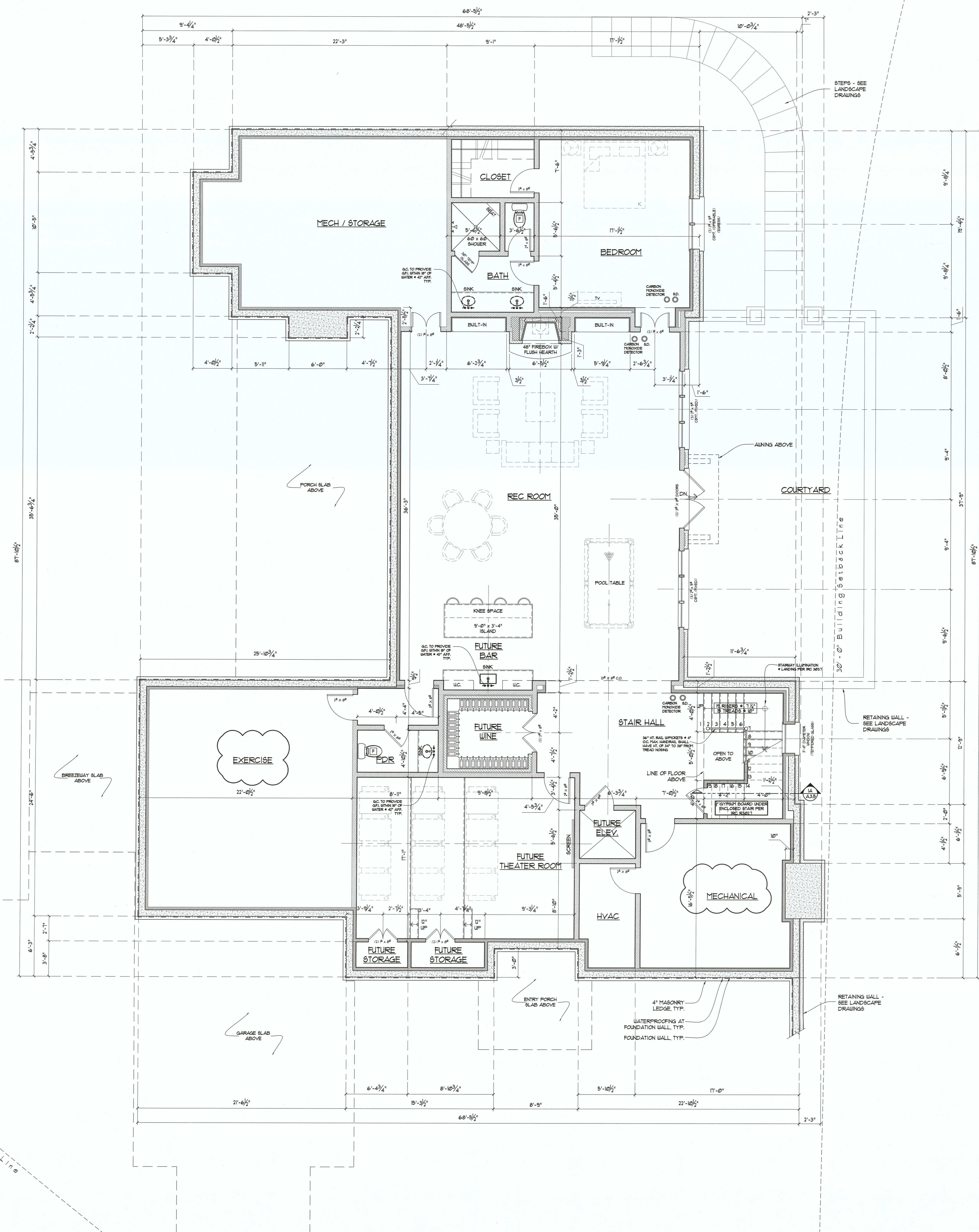
PROJECT NO: 1248

SHEET NO:

T.1.1

6'-0" Building Setback Line

60'-0" Building Setback Line



REVISION NOTES: APRIL 11, 2017.
 1/ MOVED EXERCISE ROOM
 2/ ADJUSTED TERRACE SF AND FUTURE SPACES

NOTES
 1. ALL DIMENSIONS TO OUTSIDE FACE OF FRAMING AND FOUNDATION WALLS UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS AT FIRST FLOOR ARE 2 X 6 STUD WALLS UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2 X 6 STUD WALLS UNLESS OTHERWISE NOTED.
 3. ALL DOOR JAMB TO BE 6" UNLESS OTHERWISE NOTED.

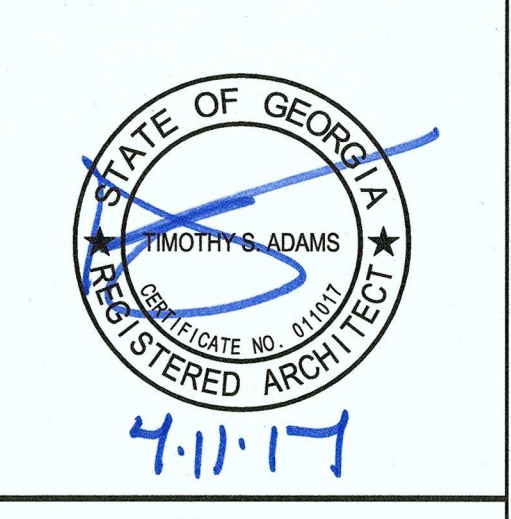
1 TERRACE FLOOR PLAN
 A.1.0 SCALE: 1/4" = 1' - 0"

SQUARE FOOTAGE CALCULATIONS

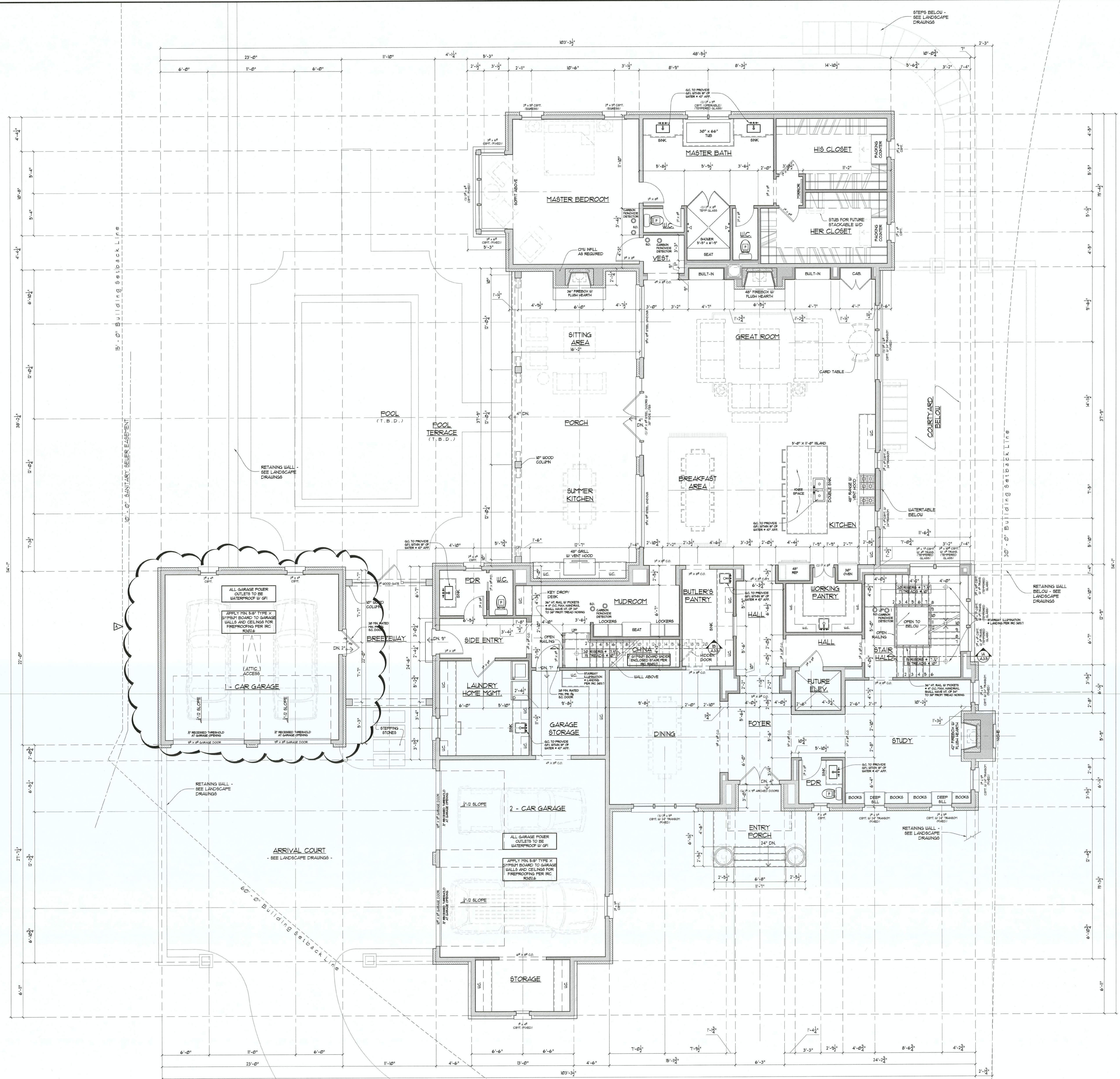
TERRACE FLOOR:	2,534 SQ. FT.
FIRST FLOOR:	3,985 SQ. FT.
SECOND FLOOR:	2,396 SQ. FT.
TOTAL:	8,915 SQ. FT.
FUTURE TERRACE FLOOR:	523 SQ. FT.
ATTIC:	619 SQ. FT.
ATTACHED GARAGE:	640 SQ. FT.
DETACHED GARAGE:	308 SQ. FT.

WALL LEGEND

2 x 4 STUD WALL	CONCRETE WALL
2 x 6 STUD WALL	CMU
STONE VENEER	SMOKE DETECTOR
BRICK VENEER	EXHAUST FAN



RANDALL MILL - LOT 1
 RANDALL MILL RD.
 ATLANTA, GEORGIA



NOTES

1. ALL DIMENSIONS TO OUTSIDE FACE OF FRAMING AND FOUNDATION WALLS UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS AT FIRST FLOOR ARE 2 x 6 STUD WALLS UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2 x 6 STUD WALLS UNLESS OTHERWISE NOTED.
3. ALL DOOR JAMB TO BE 6" UNLESS OTHERWISE NOTED.

1 FIRST FLOOR PLAN
 A.1.1 SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE CALCULATIONS

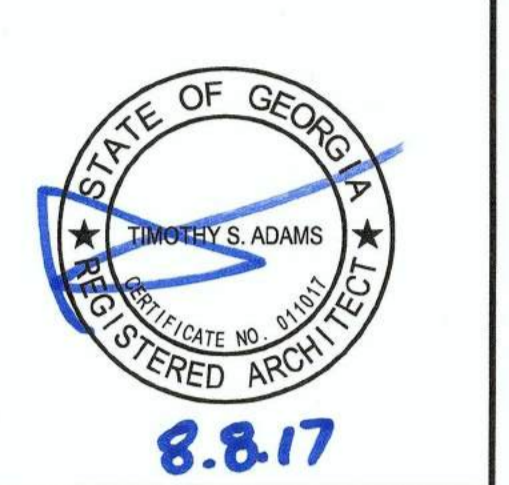
TERRACE FLOOR:	309 SQ. FT.
FIRST FLOOR:	3,985 SQ. FT.
SECOND FLOOR:	2,396 SQ. FT.
TOTAL:	6,690 SQ. FT.
FUTURE TERRACE FLOOR:	2,558 SQ. FT.
ATTIC:	619 SQ. FT.
ATTACHED GARAGE:	640 SQ. FT.
DETACHED GARAGE:	308 SQ. FT.

WALL LEGEND

	2 x 4 STUD WALL		CONCRETE WALL
	2 x 6 STUD WALL		CMU
	STONE VENEER		SMOKE DETECTOR
	BRICK VENEER		EXHAUST FAN

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 PHONE 404.252.2819
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GA #RAB11817 FL #AR02315 CA #RAB11814
 NC #RAB11814 IL #AR02315
 NC #RAB11814 IL #AR02315
 NC #RAB11814 IL #AR02315
 NC #RAB11814 IL #AR02315



RANDALL MILL - LOT 1
 RANDALL MILL RD.
 ATLANTA, GEORGIA

DRAWN BY: MDP
CHECKED: TSA
DATE: AUGUST 8, 2017
ISSUED FOR CONSTRUCTION
REVISION:

AUGUST 8, 2017
 2 CARS-GARAGE

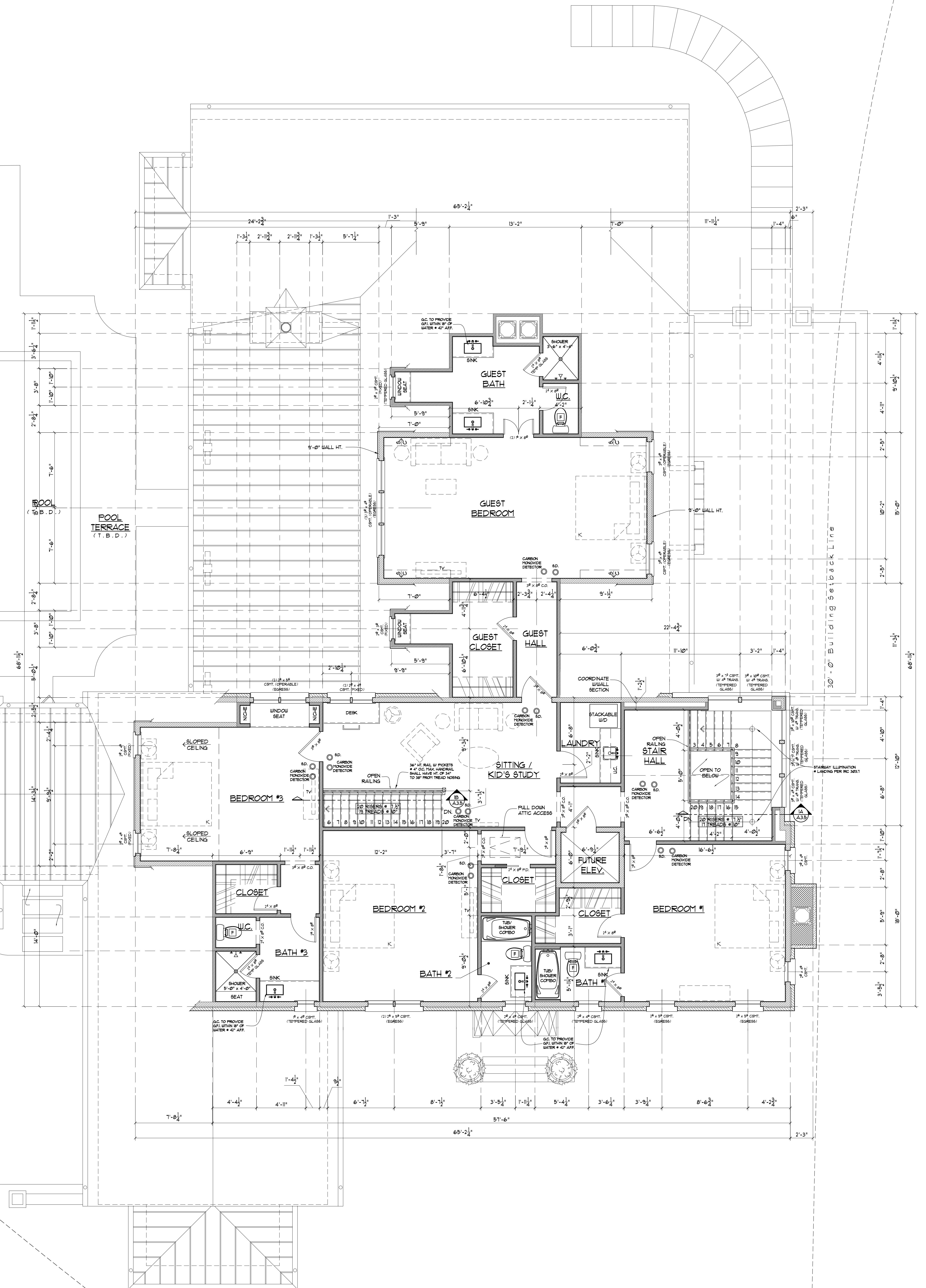
PROJECT NO: 2148
SHEET NO: **A.1.1**

5'-0" Building Setback Line

POOL TERRACE (T.B.D.)

ARRIVAL COURT - SEE LANDSCAPE DRAWINGS

60'-0" Building Setback Line



NOTES

1. ALL DIMENSIONS TO OUTSIDE FACE OF FRAMING AND FOUNDATION WALLS UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS AT FIRST FLOOR ARE 2 x 6 STUD WALLS UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2 x 6 STUD WALLS UNLESS OTHERWISE NOTED.
3. ALL DOOR JAMB TO BE 6" UNLESS OTHERWISE NOTED.

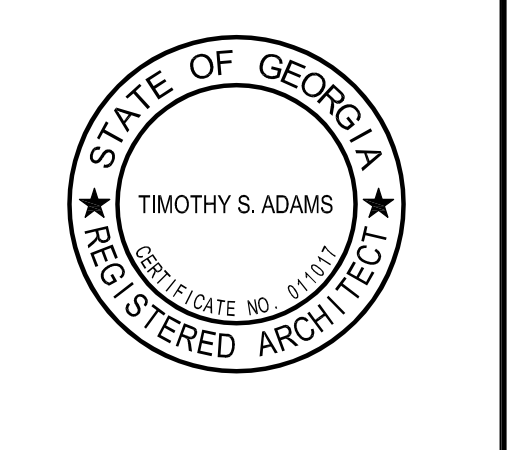
1 SECOND FLOOR PLAN
 A.1.2 SCALE: 1/4" = 1' - 0"

SQUARE FOOTAGE CALCULATIONS

TERRACE FLOOR:	309 SQ. FT.
FIRST FLOOR:	3,985 SQ. FT.
SECOND FLOOR:	2,396 SQ. FT.
TOTAL:	6,690 SQ. FT.
FUTURE TERRACE FLOOR:	2,558 SQ. FT.
ATTIC:	619 SQ. FT.
ATTACHED GARAGE:	640 SQ. FT.
DETACHED GARAGE:	308 SQ. FT.

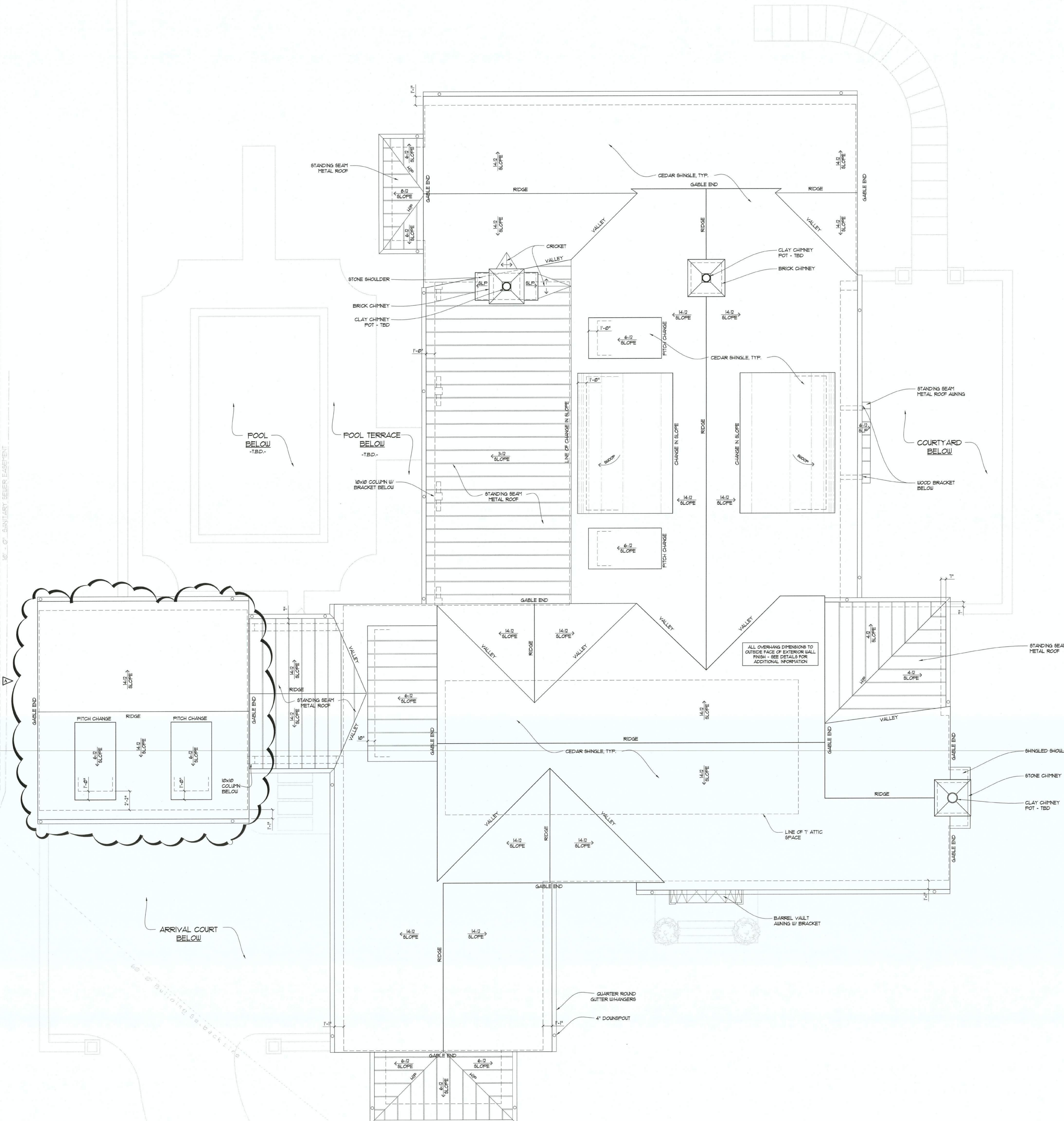
WALL LEGEND

	2 x 4 STUD WALL		CONCRETE WALL
	2 x 6 STUD WALL		CMU
	STONE VENEER		SMOKE DETECTOR
	BRICK VENEER		EXHAUST FAN



RANDALL MILL - LOT 1
 RANDALL MILL RD.
 ATLANTA, GEORGIA

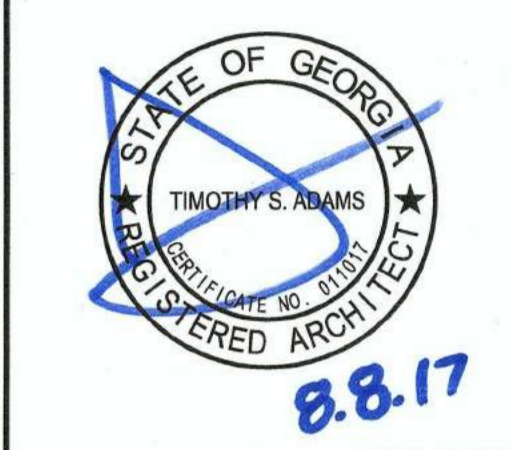
18'-0" Building Setback Line
18'-0" Sanitary Sewer Easement



1 ROOF PLAN (PROPOSED)
A.1.3 SCALE: 1/4" = 1'-0"

T.S. ADAMS ARCHITECTS, INC.
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ATLANTA, GEORGIA 30305
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GA #RA811817 FL #AR02215
NC #1344 NCARB #62920
NCARB #68134



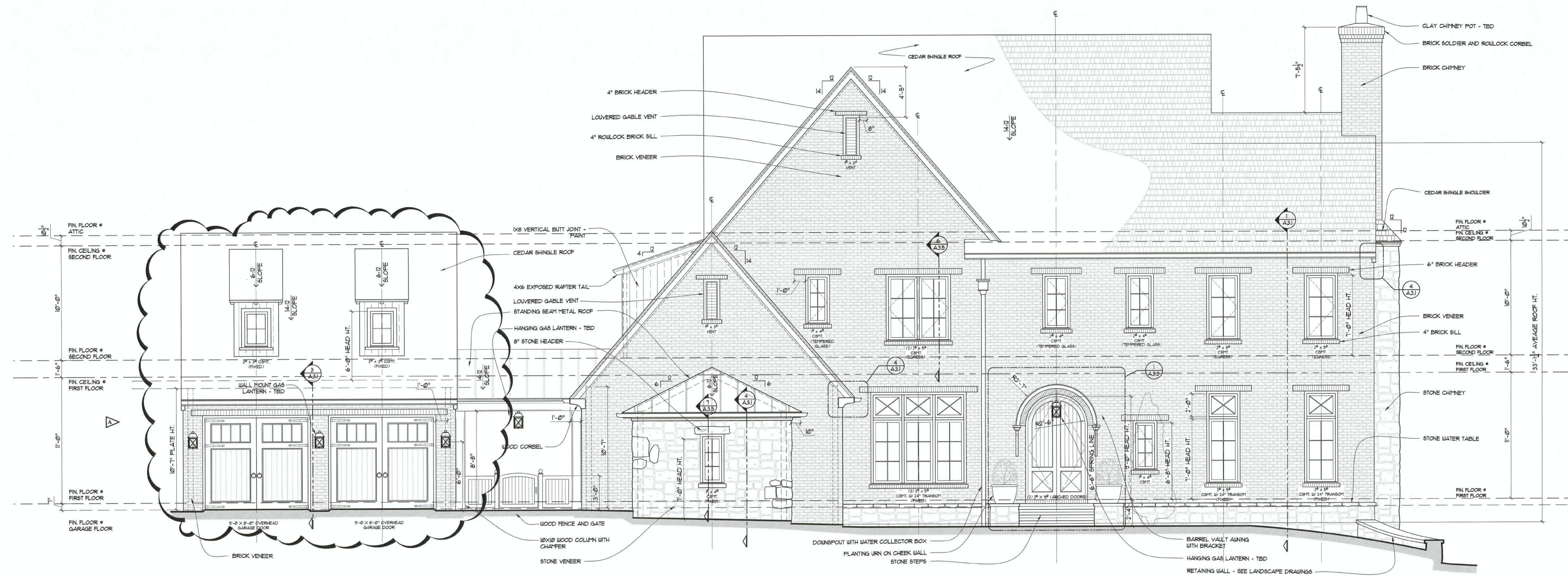
RANDALL MILL - LOT 1
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ATLANTA, GEORGIA

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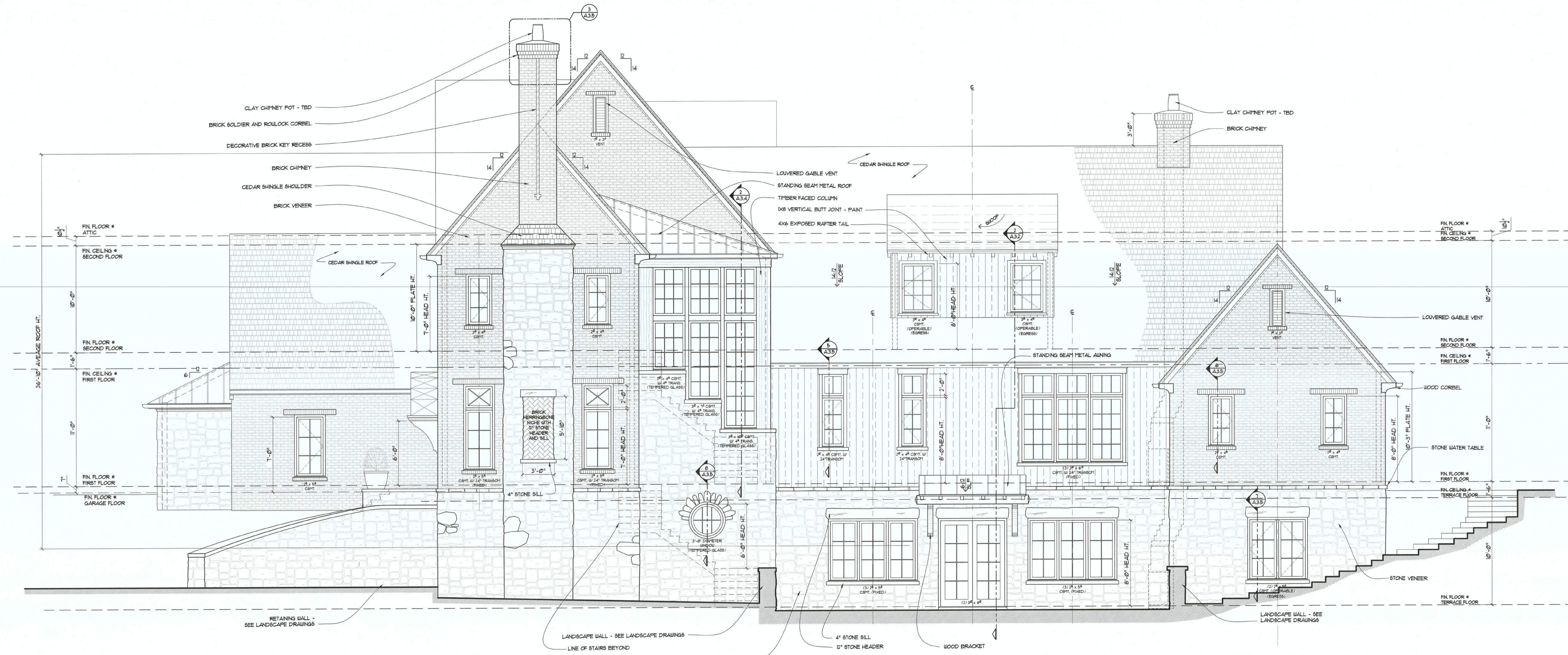
THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS, ETC., AND REPORTING ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

DRAWN BY: MDP
CHECKED: TSA
DATE: AUGUST 8, 2017
ISSUED FOR CONSTRUCTION
REVISION:
AUGUST 8, 2017
2 CAR-GARAGE

PROJECT NO: 2248
SHEET NO: **A.1.3**



1 FRONT ELEVATION (PROPOSED)
A.2.1 SCALE: 1/4" = 1'-0"



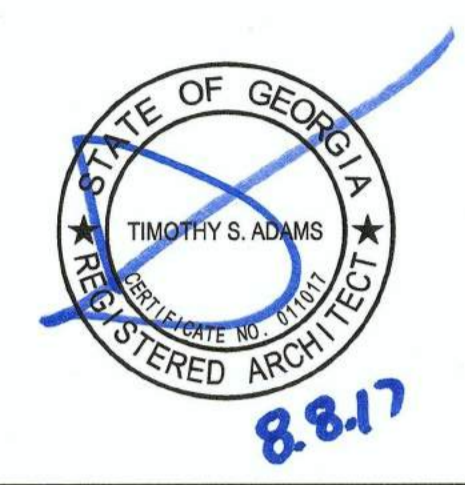
2 RIGHT ELEVATION (PROPOSED)
A.2.1 SCALE: 1/4" = 1'-0"

ROOF HT. CALCULATIONS

FRONT ELEV.	33'-1 1/4"	FROM AVG. GRADE
RIGHT ELEV.	36'-10"	FROM AVG. GRADE
REAR ELEV.	32'-6 3/4"	FROM AVG. GRADE
LEFT ELEV.	31'-9 1/2"	FROM AVG. GRADE
AVG ROOF:	134'-3 1/2" ÷ 4 = 33'-7"	

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PHONE: 404.525.1414
FAX: 404.525.1415

GA #84811817
FL #A8032115
NC #73244
VA #12924
NCARB #62926
NCARB #48134



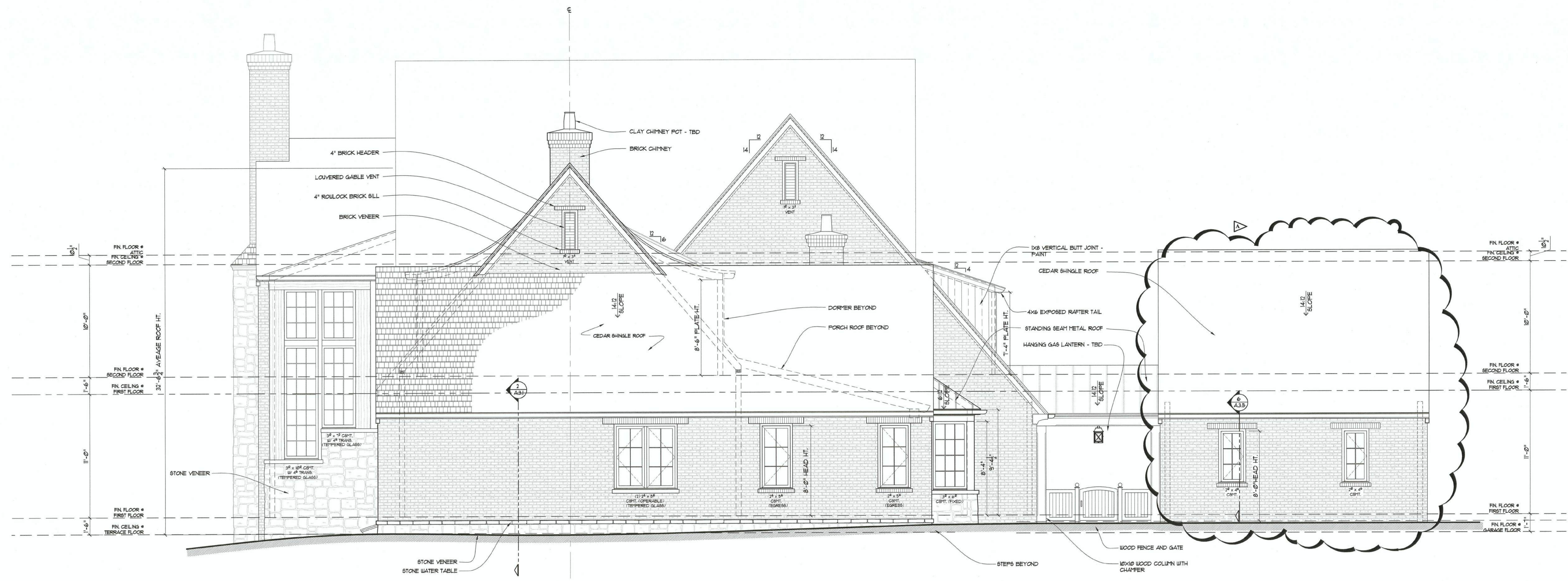
RANDALL MILL - LOT 1
RANDALL MILL RD.
ATLANTA, GEORGIA

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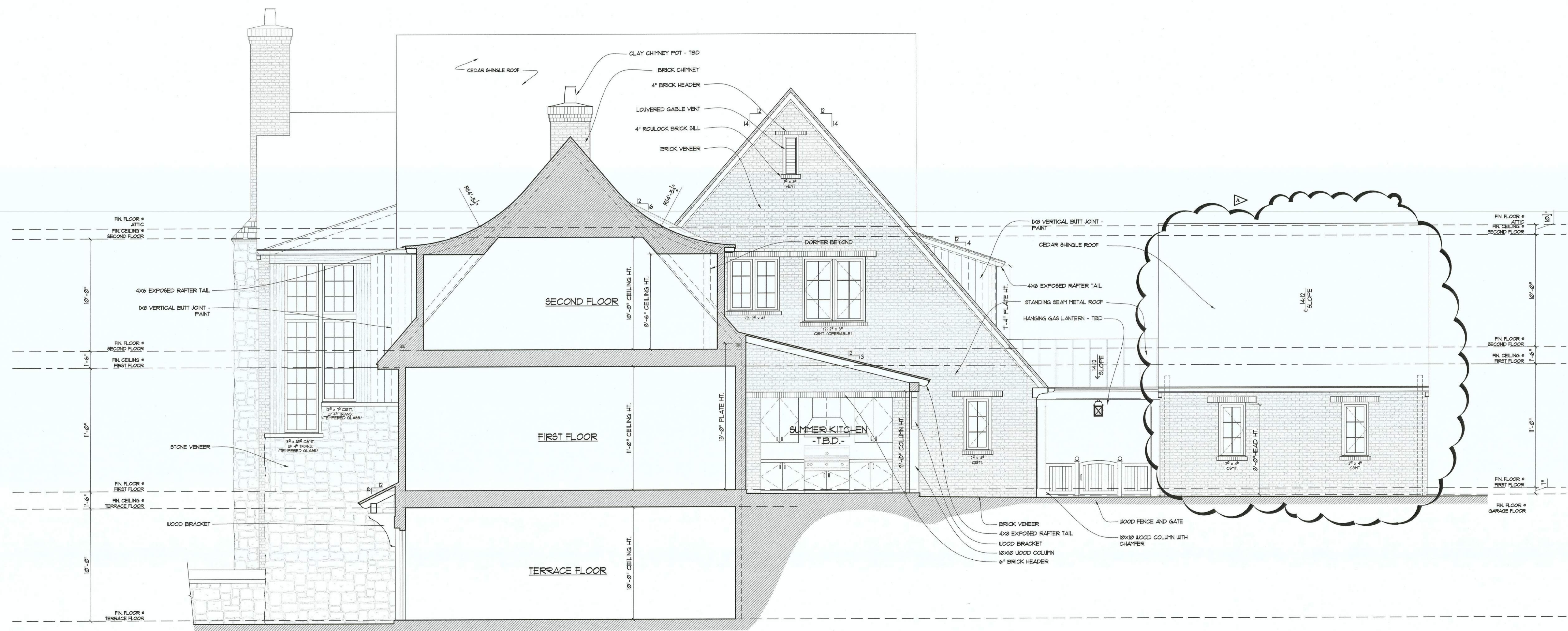
THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, PERMITS, AND ALL OTHERS AS APPLICABLE TO A SPECIFIC PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DRAWN BY: MDP
CHECKED: TSA
DATE: AUGUST 8, 2017
ISSUED FOR CONSTRUCTION
REVISION:
AUGUST 8, 2017
2 CARS-GARAGE

PROJECT NO: 2148
SHEET NO: **A.2.1**



2 REAR ELEVATION (PROPOSED)
 A.2.1 SCALE: 1/4" = 1'-0"

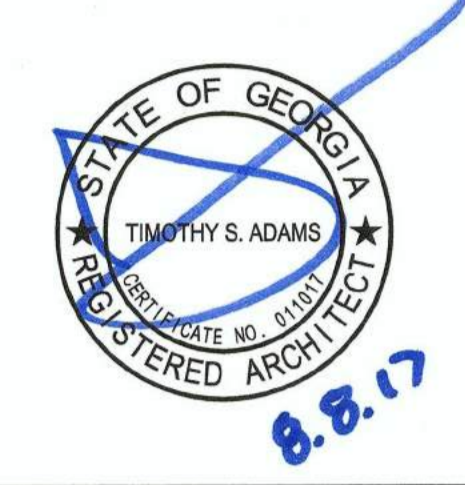


2 REAR ELEVATION / SECTION (PROPOSED)
 A.2.1 SCALE: 1/4" = 1'-0"

ROOF HT. CALCULATIONS	
FRONT ELEV.	33'-1 1/4" FROM AVG. GRADE
RIGHT ELEV.	36'-10" FROM AVG. GRADE
REAR ELEV.	32'-6 3/4" FROM AVG. GRADE
LEFT ELEV.	31'-9 1/2" FROM AVG. GRADE
AVG ROOF:	134'-3 1/2" ÷ 4 = 33'-7"

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GA #84811017 GA #84811854
 FL #A0023115 FL #A0030883
 SC #3384 NCARB #62920
 US #1904 NCARB #60134

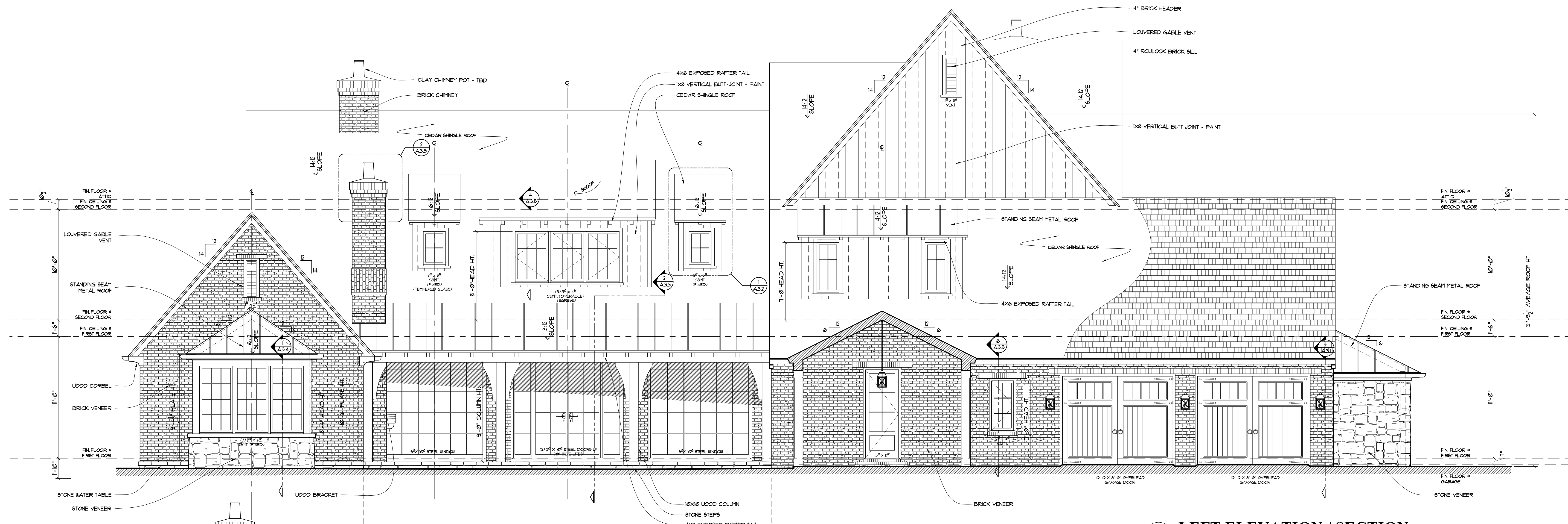


RANDALL MILL - LOT 1
 RANDALL MILL RD.
 ATLANTA, GEORGIA

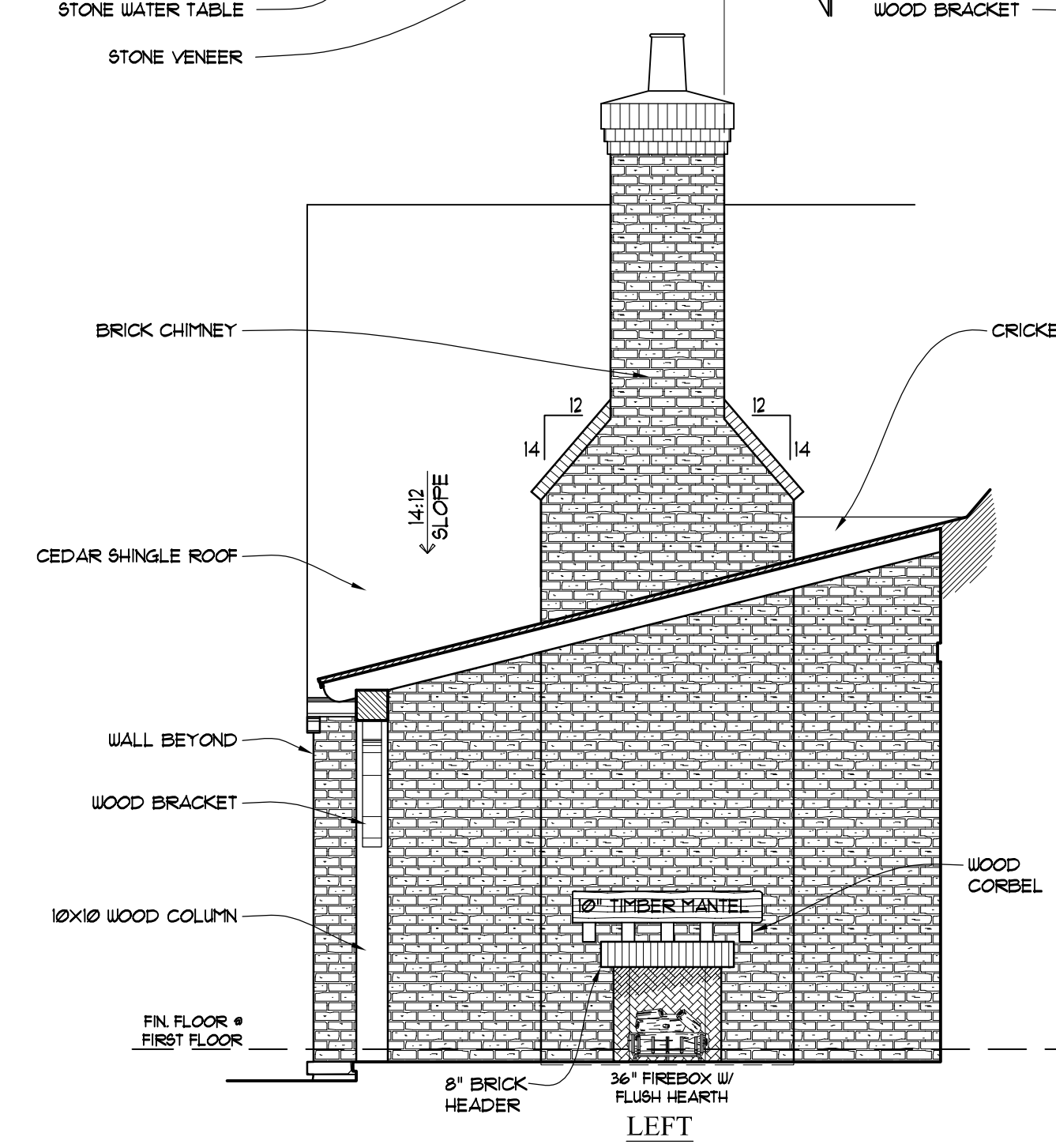
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DRAWN BY: MDP
 CHECKED: TSA
 DATE: AUGUST 8, 2017
 ISSUED FOR CONSTRUCTION
 REVISION:
 AUGUST 8, 2017
 2 CARS-GARAGE

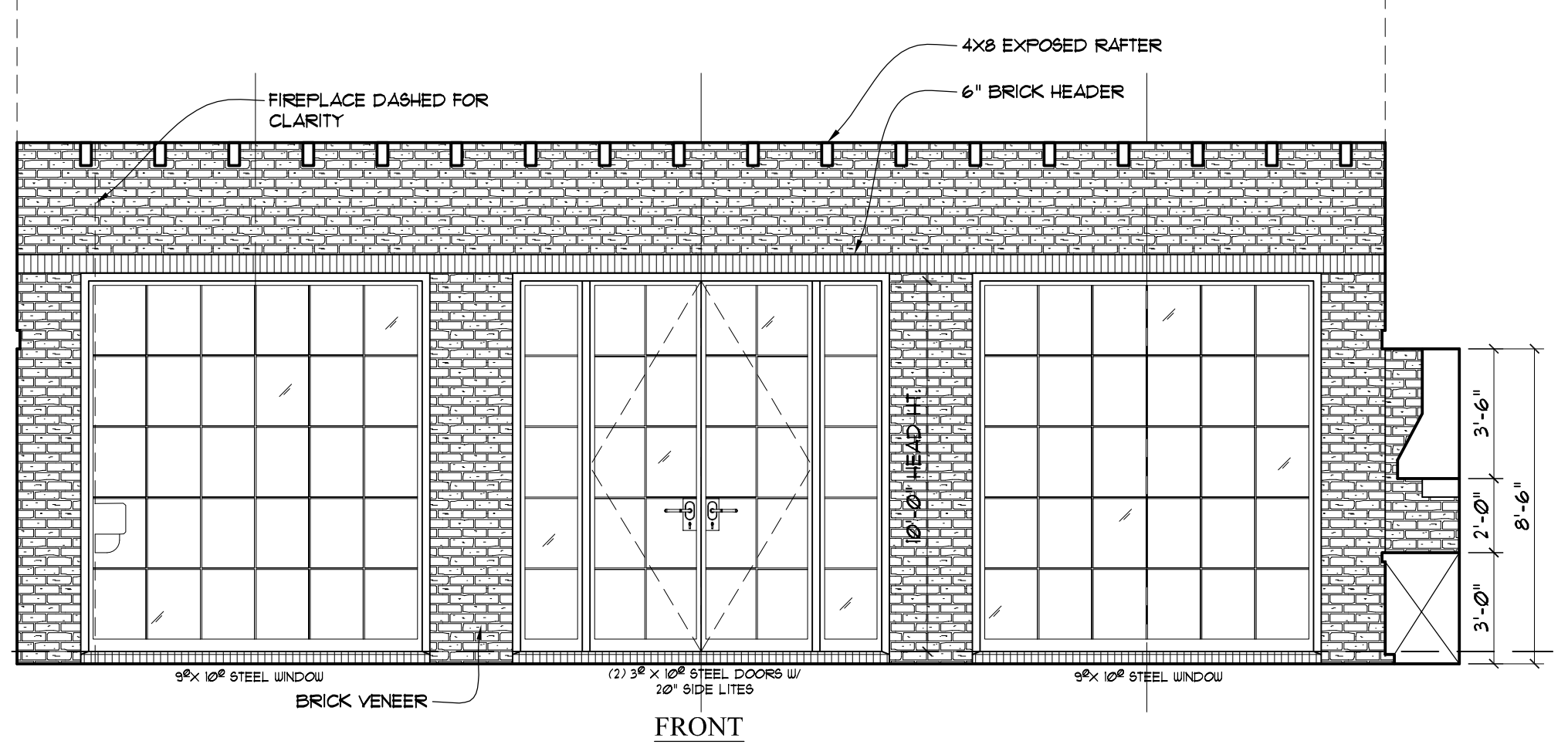
PROJECT NO: 2248
 SHEET NO: **A.2.2**



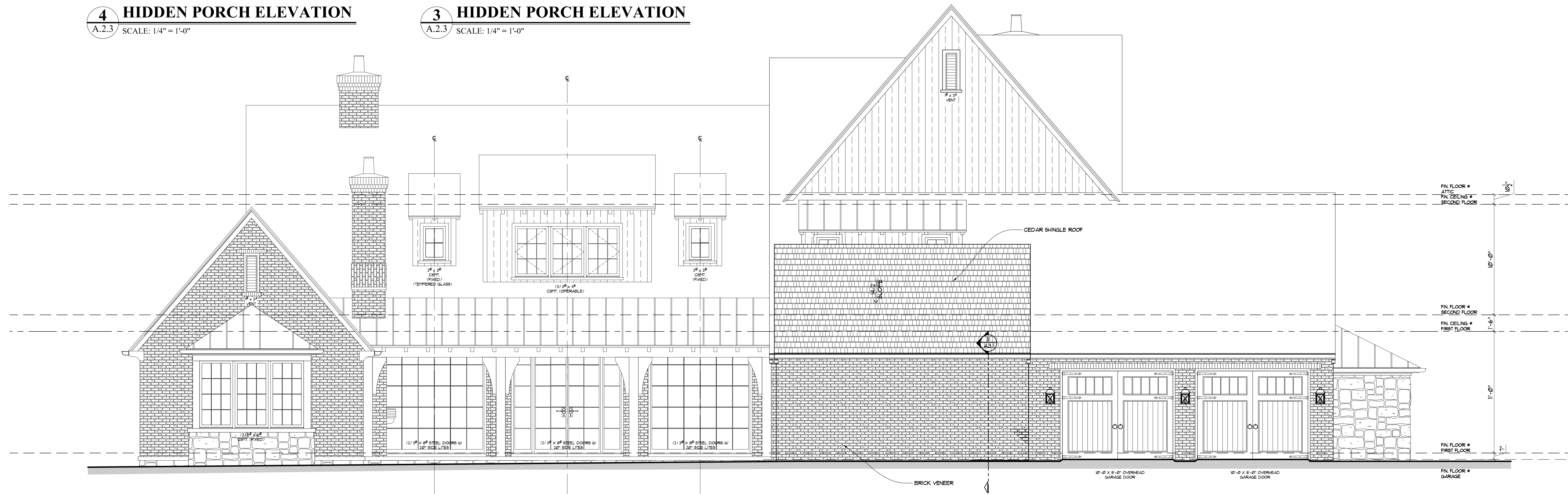
1 LEFT ELEVATION / SECTION (PROPOSED)
 A.2.3 SCALE: 1/4" = 1'-0"



4 HIDDEN PORCH ELEVATION
 A.2.3 SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION
 A.2.3 SCALE: 1/4" = 1'-0"



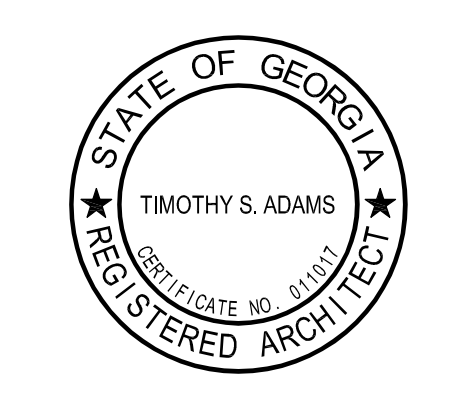
2 LEFT ELEVATION (PROPOSED)
 A.2.3 SCALE: 1/4" = 1'-0"

ROOF HT. CALCULATIONS

FRONT ELEV.	33' - 1 1/4"	FROM AVG. GRADE
RIGHT ELEV.	36' - 10"	FROM AVG. GRADE
REAR ELEV.	32' - 6 3/4"	FROM AVG. GRADE
LEFT ELEV.	31' - 9 1/2"	FROM AVG. GRADE
AVG ROOF:	134' - 3 1/2" ÷ 4 = 33' - 7"	

T S ADAMS ARCHITECTS, INC.
 2808 HAWTHORN COURT, NE
 ATLANTA, GEORGIA 30305
 TEL: 404.252.2899 FAX: 404.252.2891

GA #RAB11817 GA #RAB11854
 FL #AB02315 FL #AB01983
 NC #1744 NC #RB 429210
 USVI #0366 NCARB #429210
 NCAAB #0134

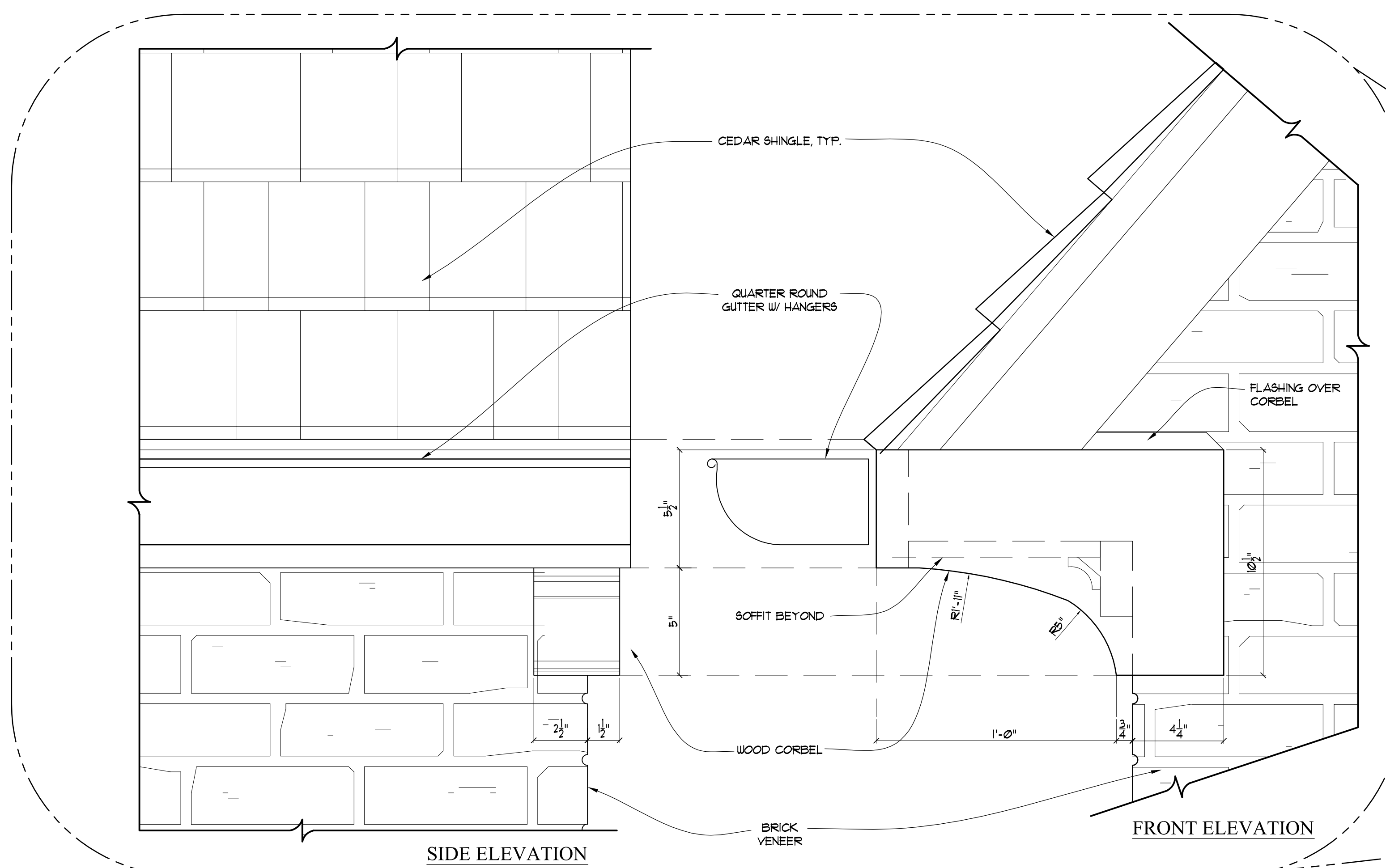


RANDALL MILL - LOT 1
 RANDALL MILL RD.
 ATLANTA, GEORGIA

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DRAWN BY: MDP
 CHECKER: TSA
 DATE: JANUARY 27, 2017
 ISSUED FOR CONSTRUCTION
 REVISION:

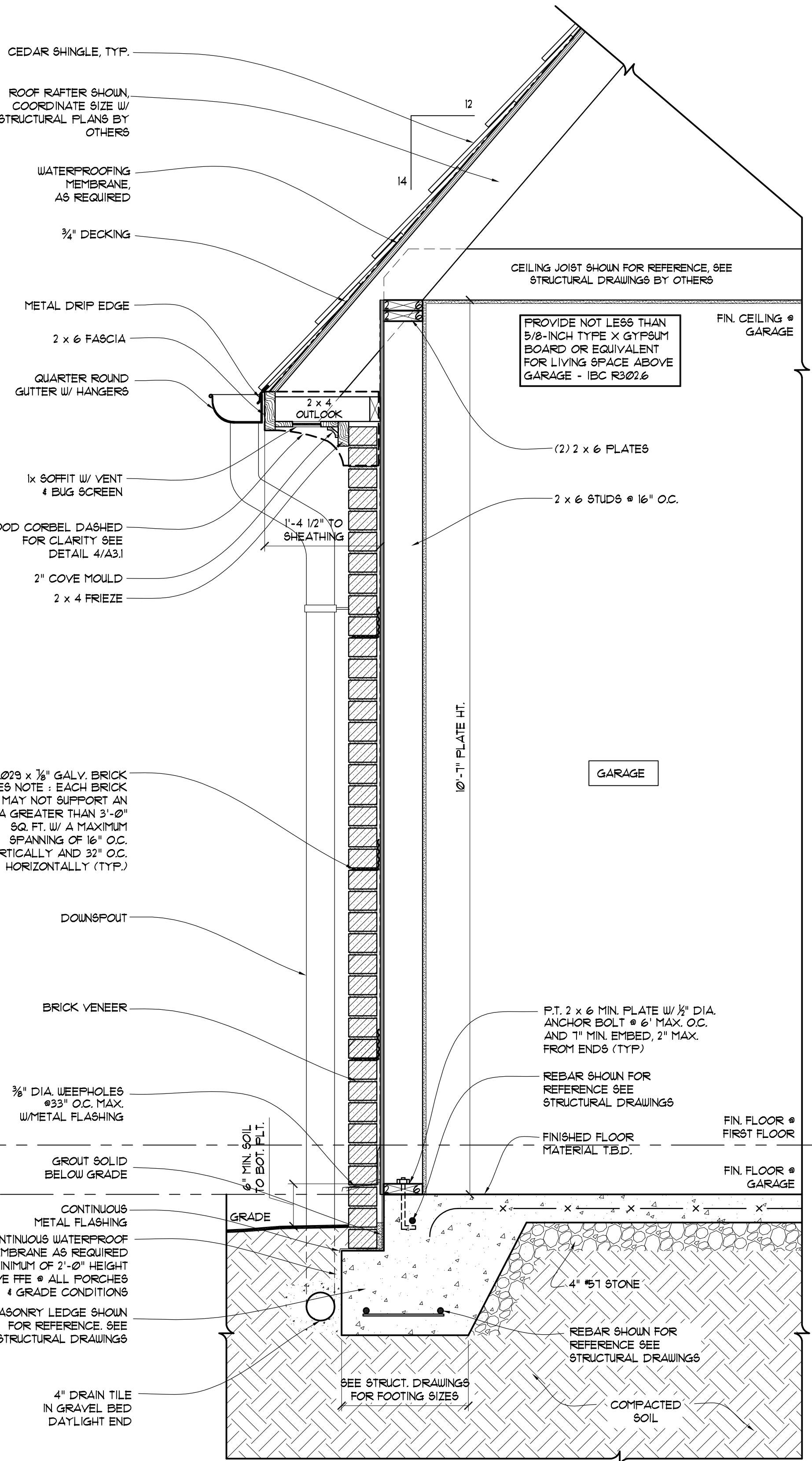
PROJECT NO: 2248
 SHEET NO: **A.2.3**



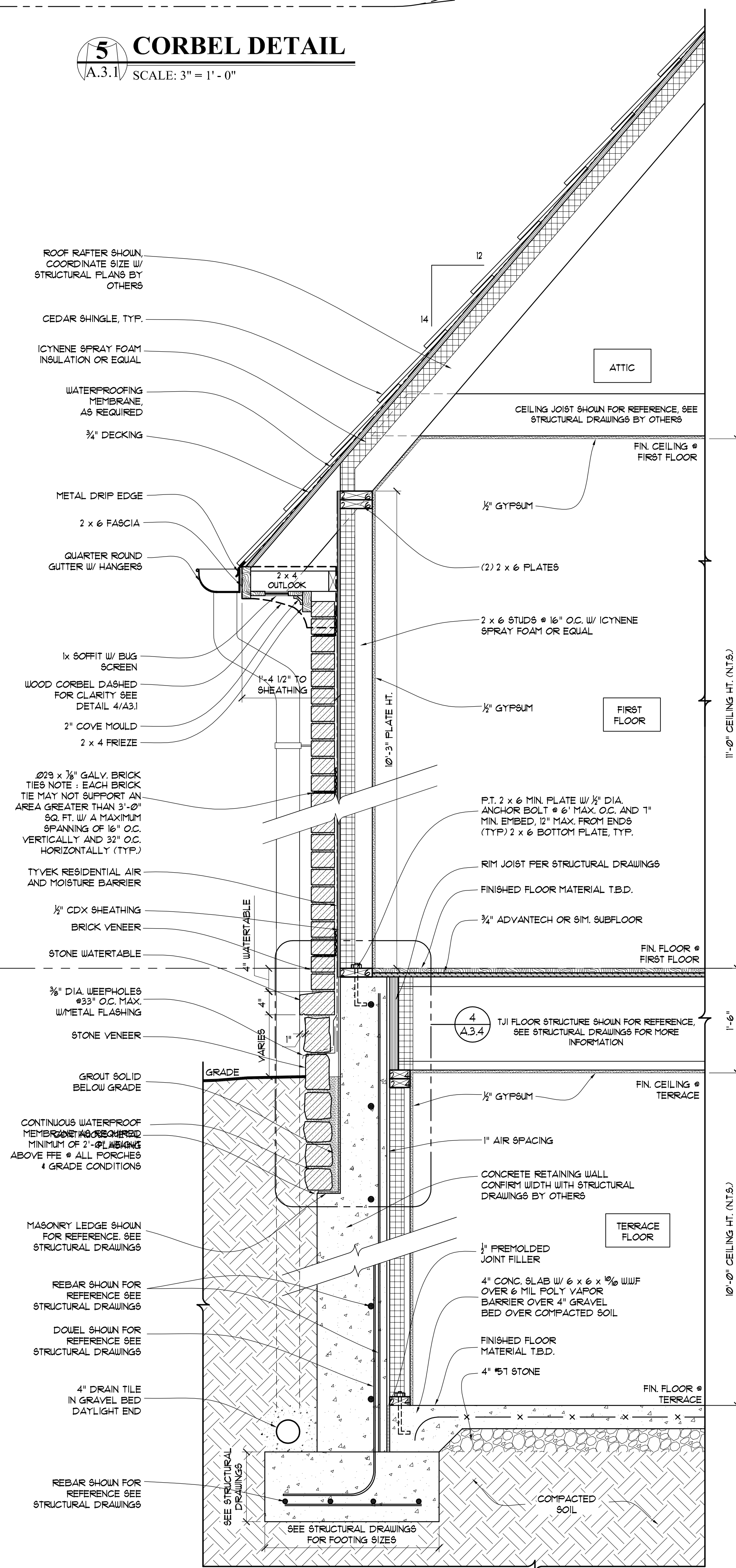
SIDE ELEVATION

FRONT ELEVATION

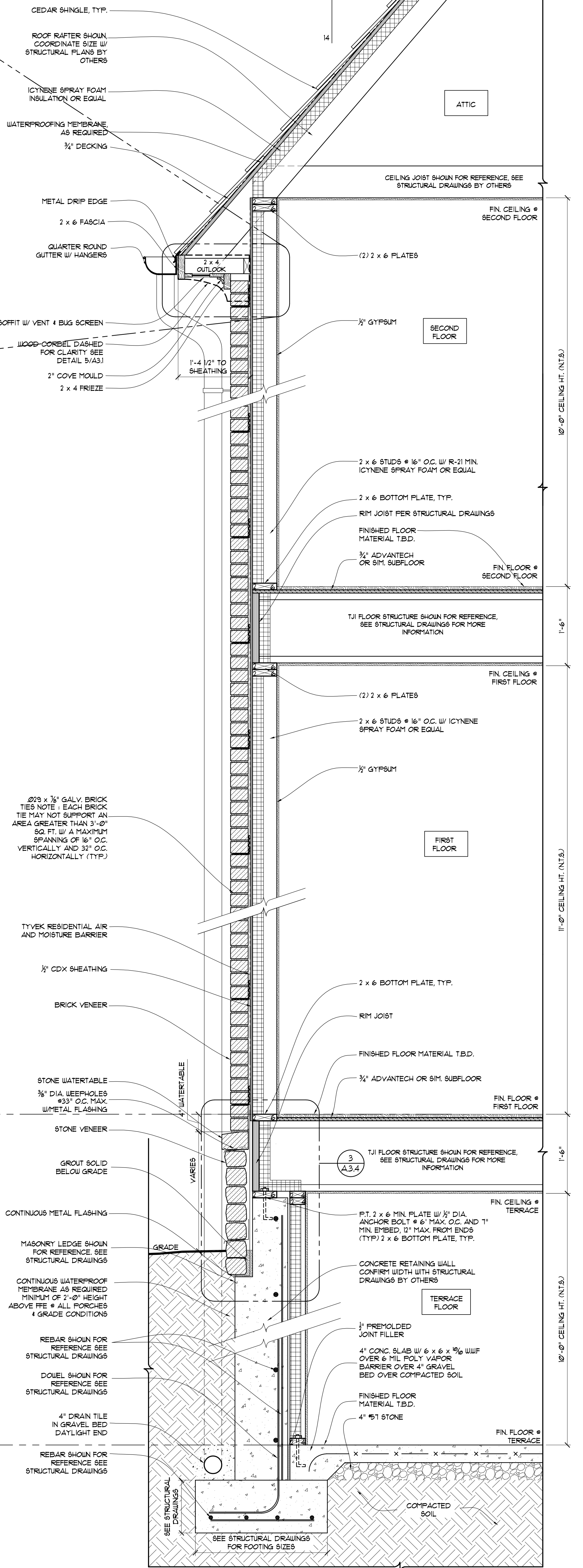
5 CORBEL DETAIL
A.3.1 SCALE: 3" = 1'-0"



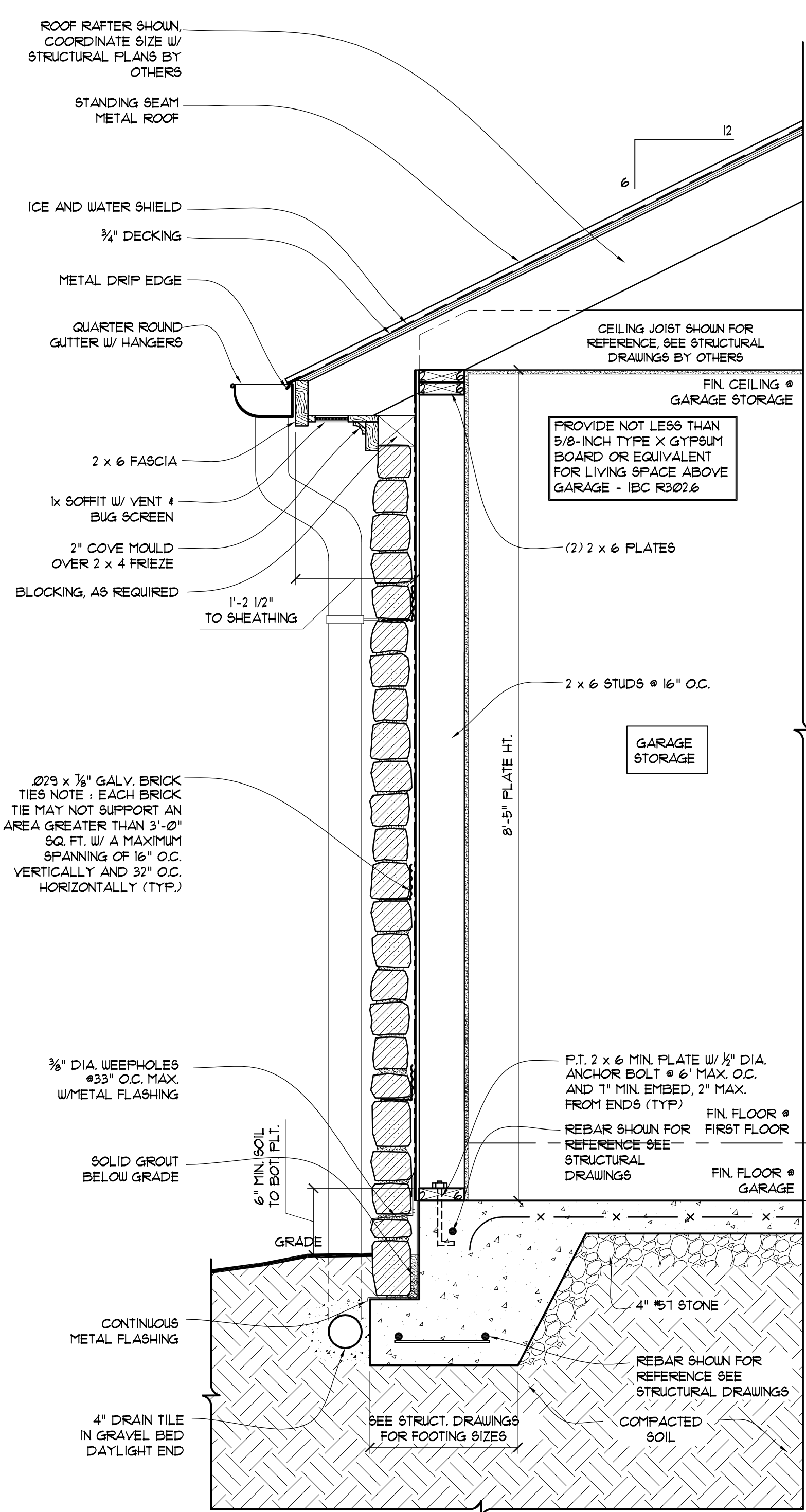
4 WALL SECTION @ GARAGE
A.3.1 SCALE: 1" = 1'-0"



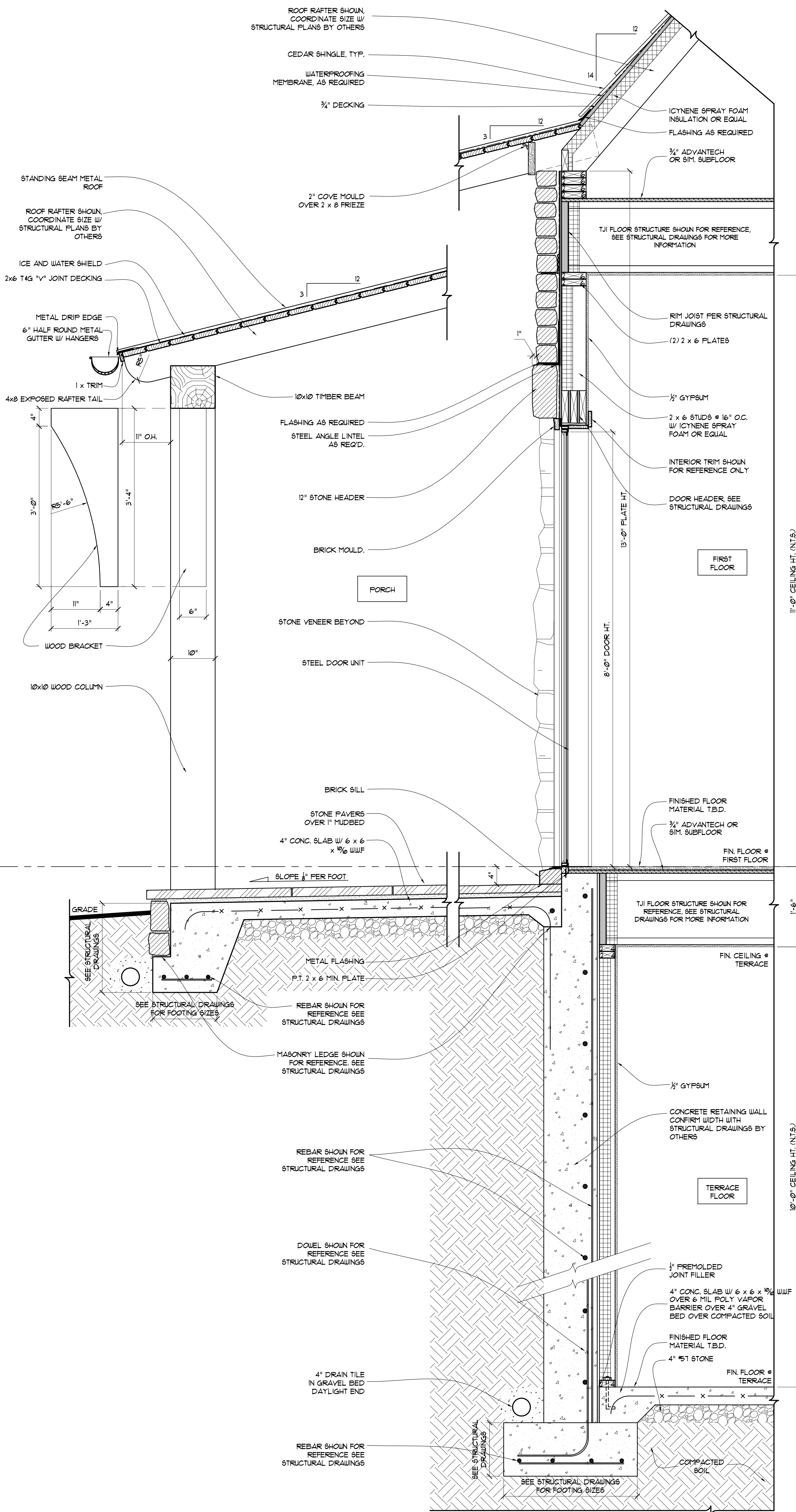
2 WALL SECTION @ HIS CLOSET
A.3.1 SCALE: 1" = 1'-0"



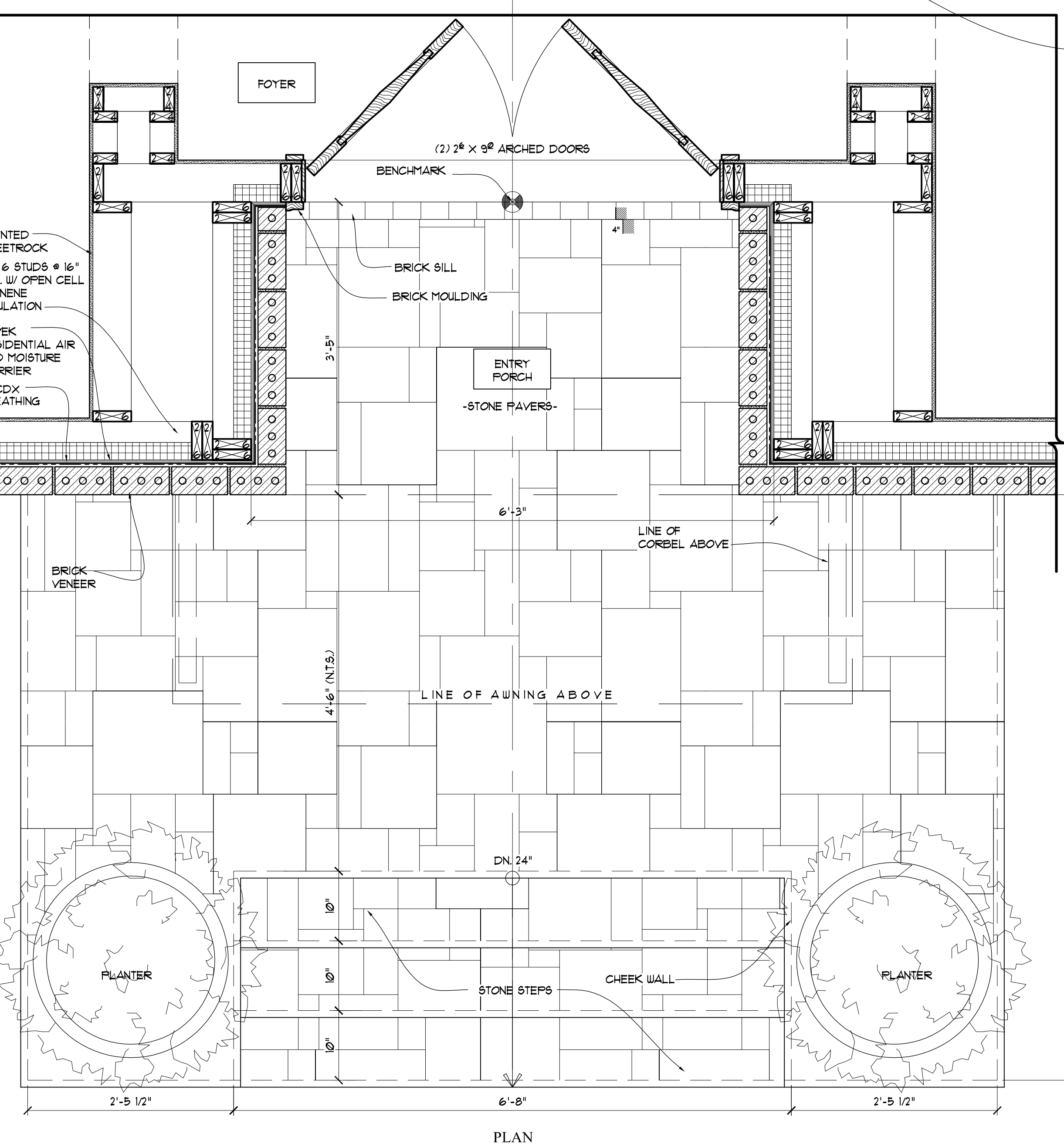
1 TYPICAL WALL SECTION @ FOYER & STUDY
A.3.1 SCALE: 1" = 1'-0"



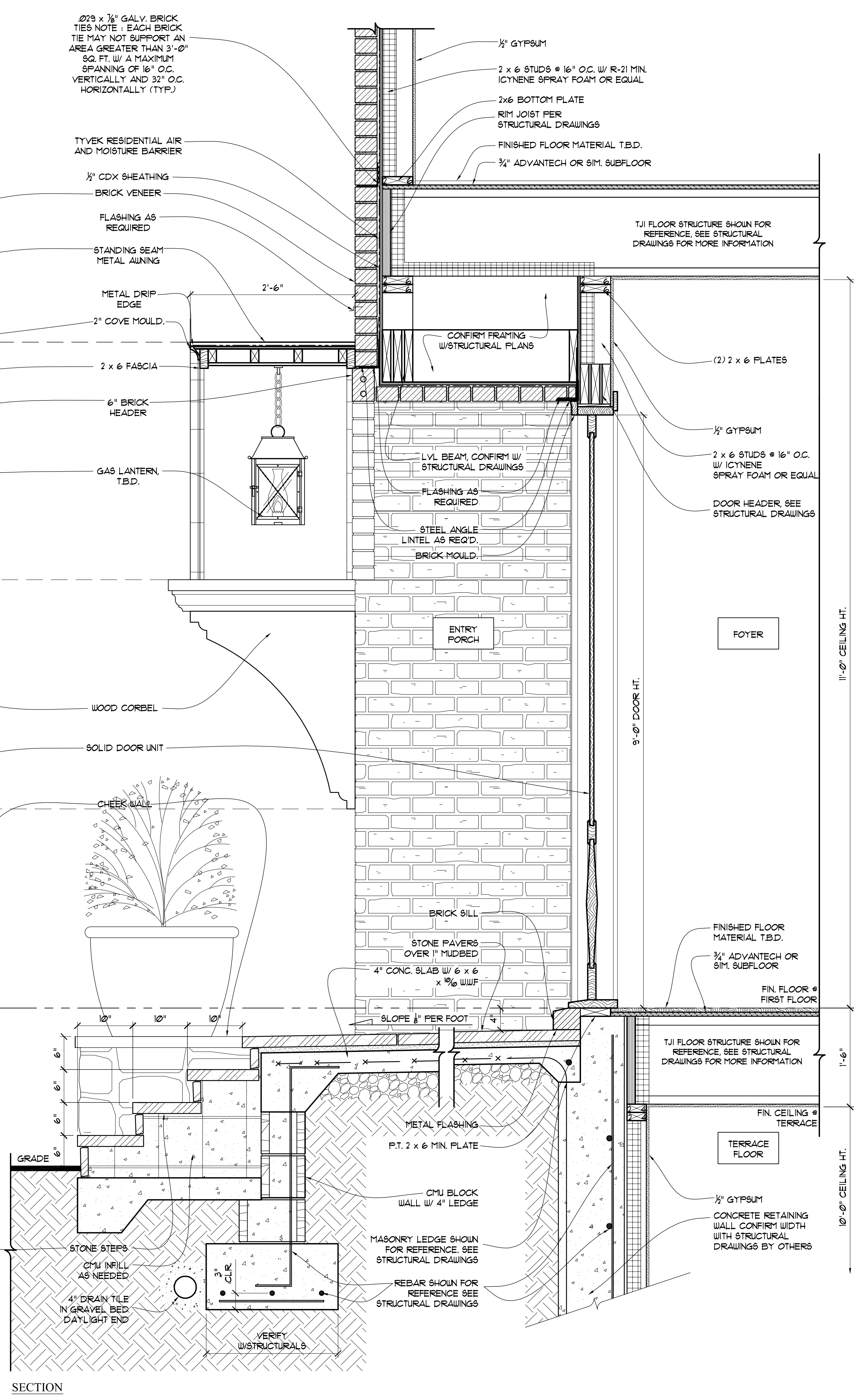
4 WALL SECTION @ GARAGE STORAGE
A.3.1 SCALE: 1" = 1'-0"



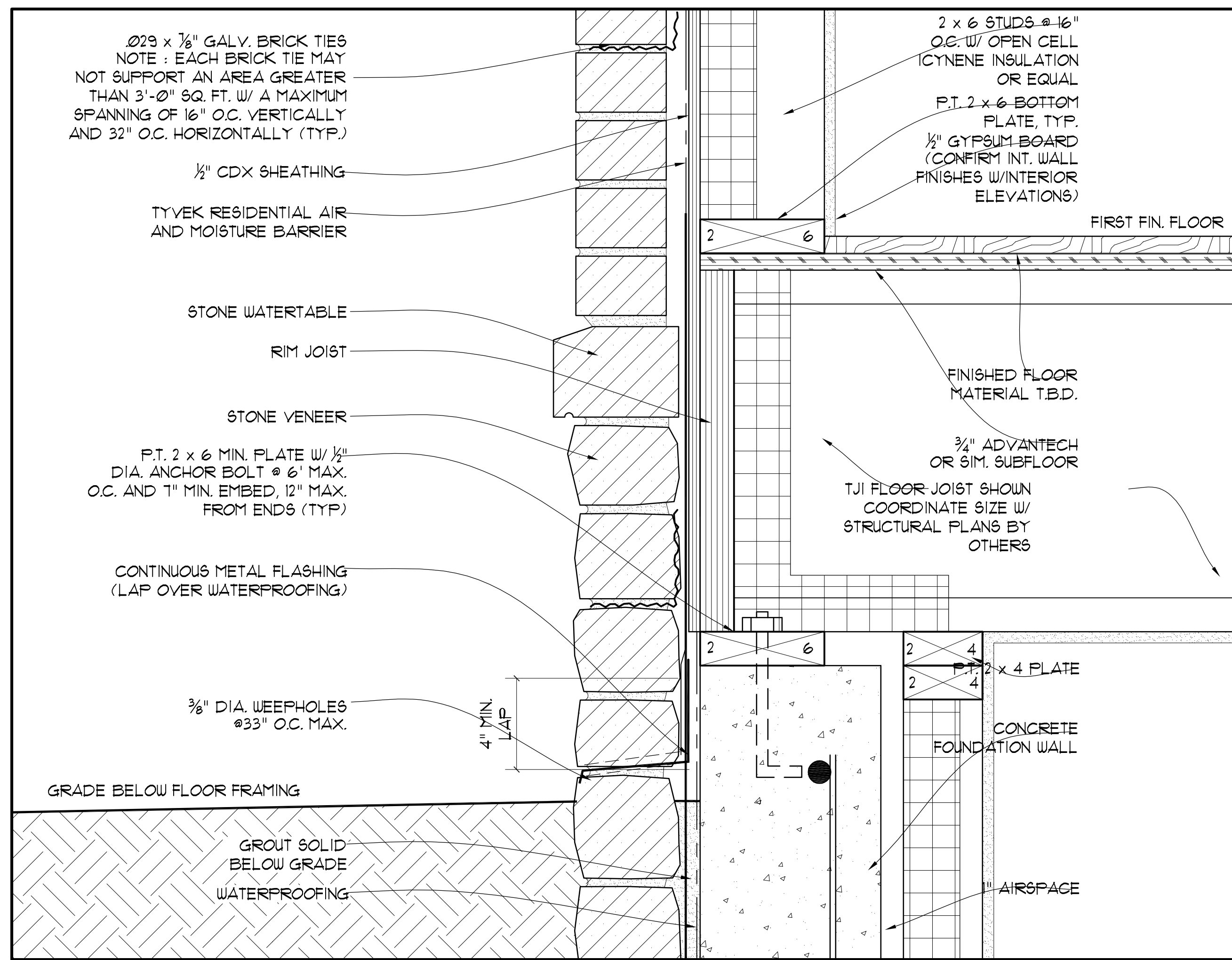
2 WALL SECTION @ REAR PORCH
A.3.3 SCALE: 1" = 1'-0"



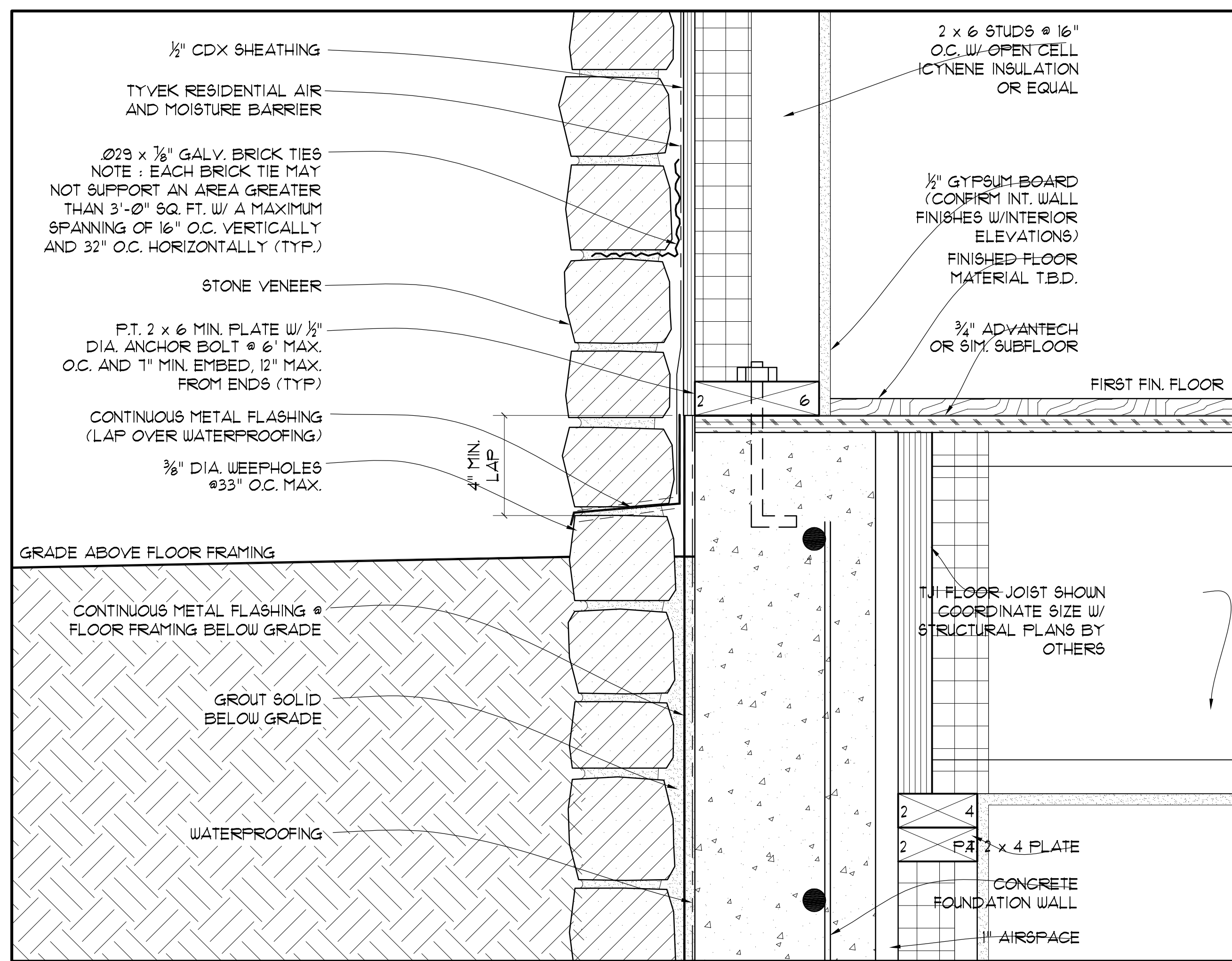
1 FRONT ENTRY DETAIL
A.3.3 SCALE: 1" = 1'-0"



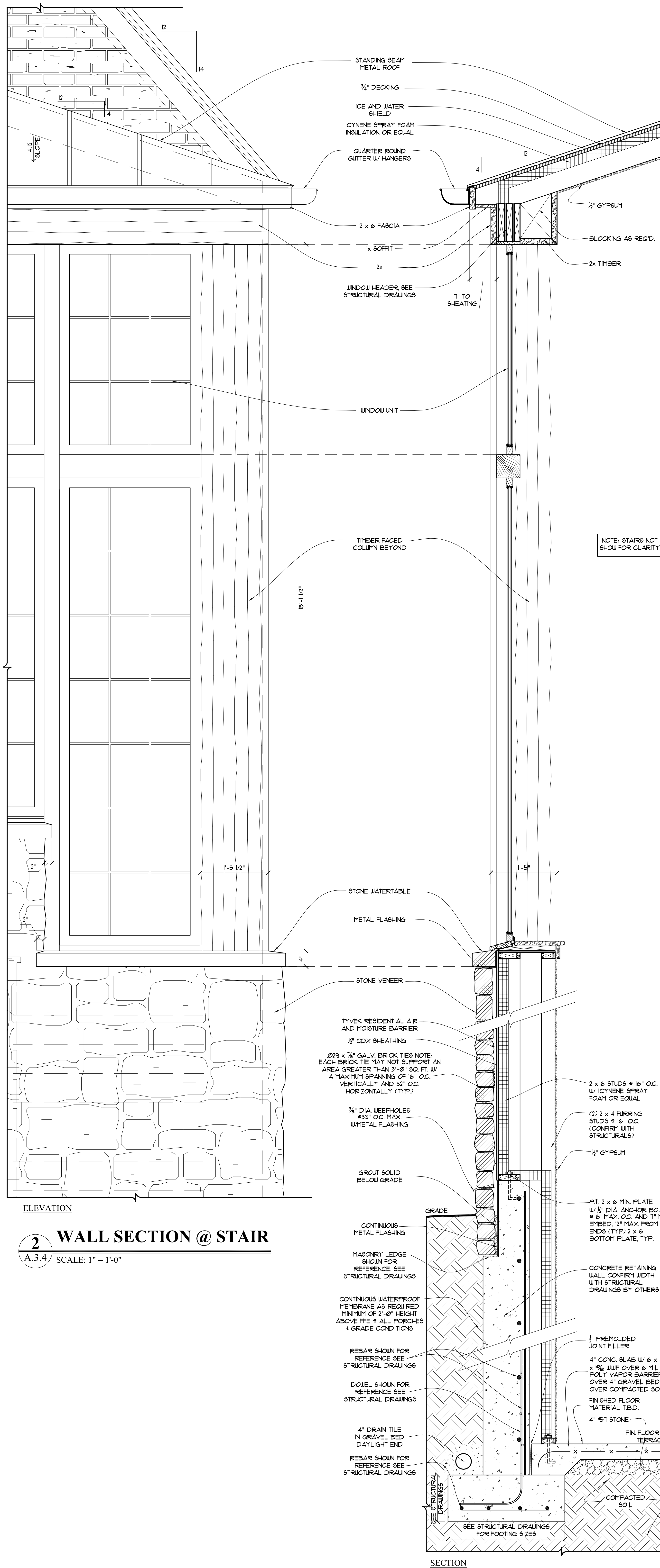
3 CORBEL DETAIL
A.3.3 SCALE: 3" = 1'-0"



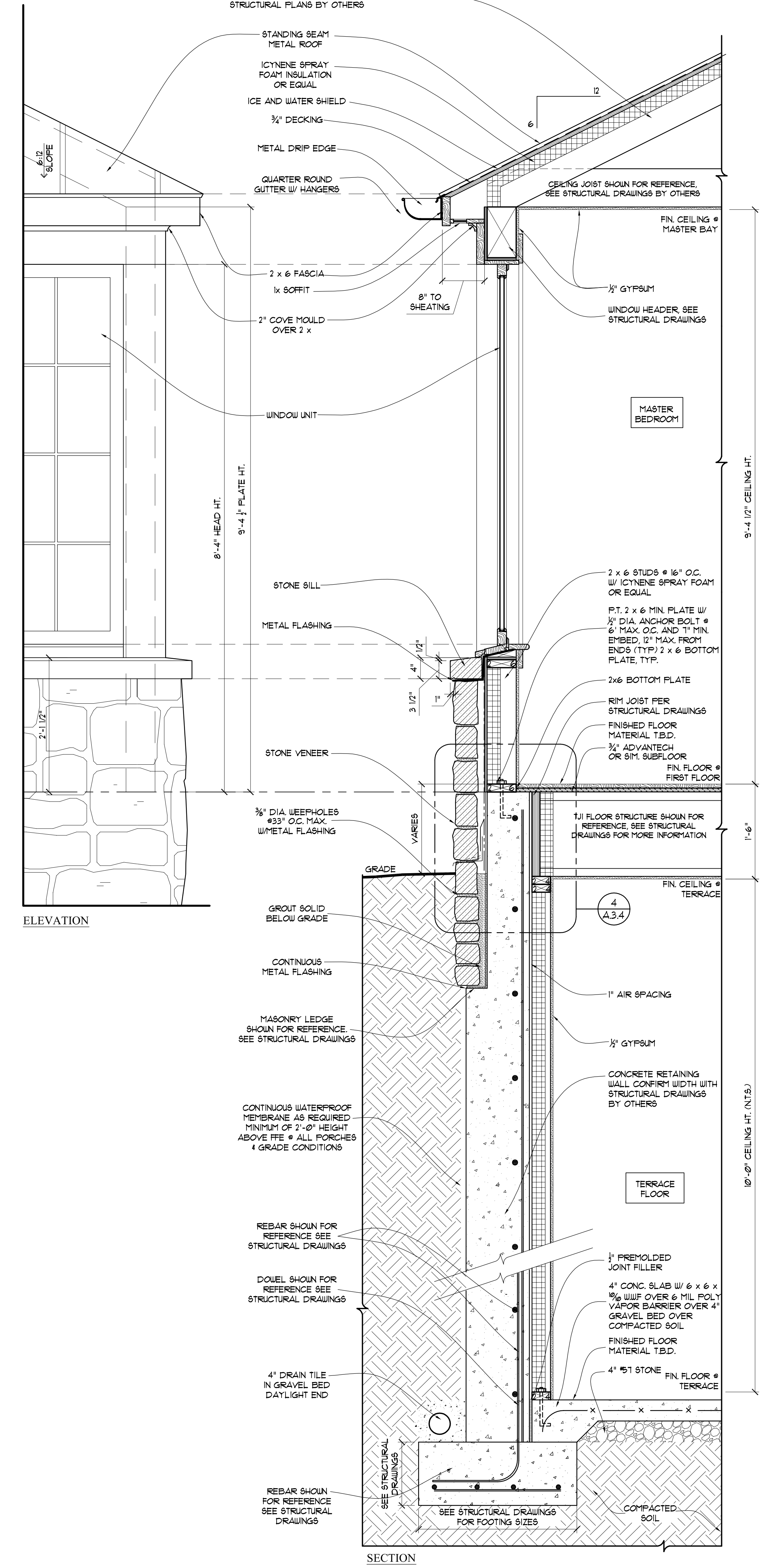
3 WATERPROOFING/FLASHING DETAIL
A.3.4 SCALE: 3" = 1'-0"



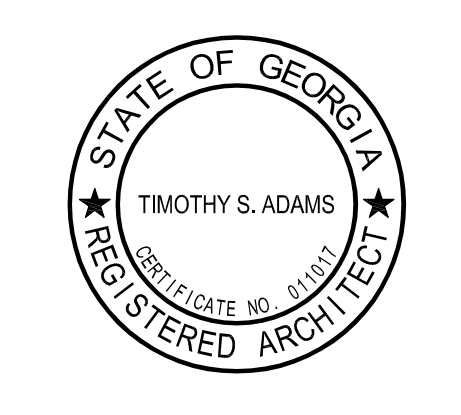
4 WATERPROOFING/FLASHING DETAIL
A.3.4 SCALE: 3" = 1'-0"



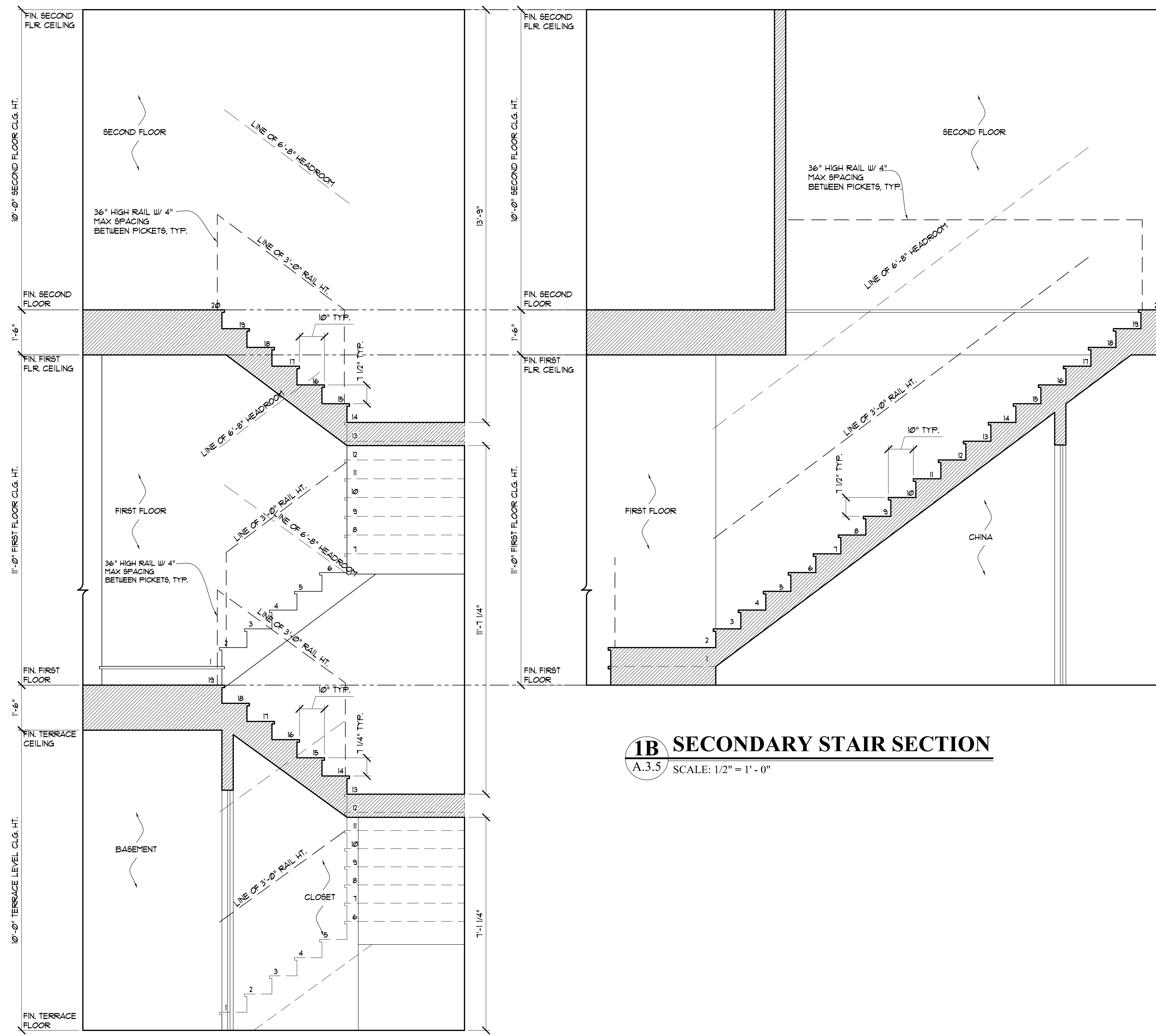
2 WALL SECTION @ STAIR
A.3.4 SCALE: 1" = 1'-0"



1 WALL SECTION @ MASTER BEDROOM BAY
A.3.4 SCALE: 1" = 1'-0"

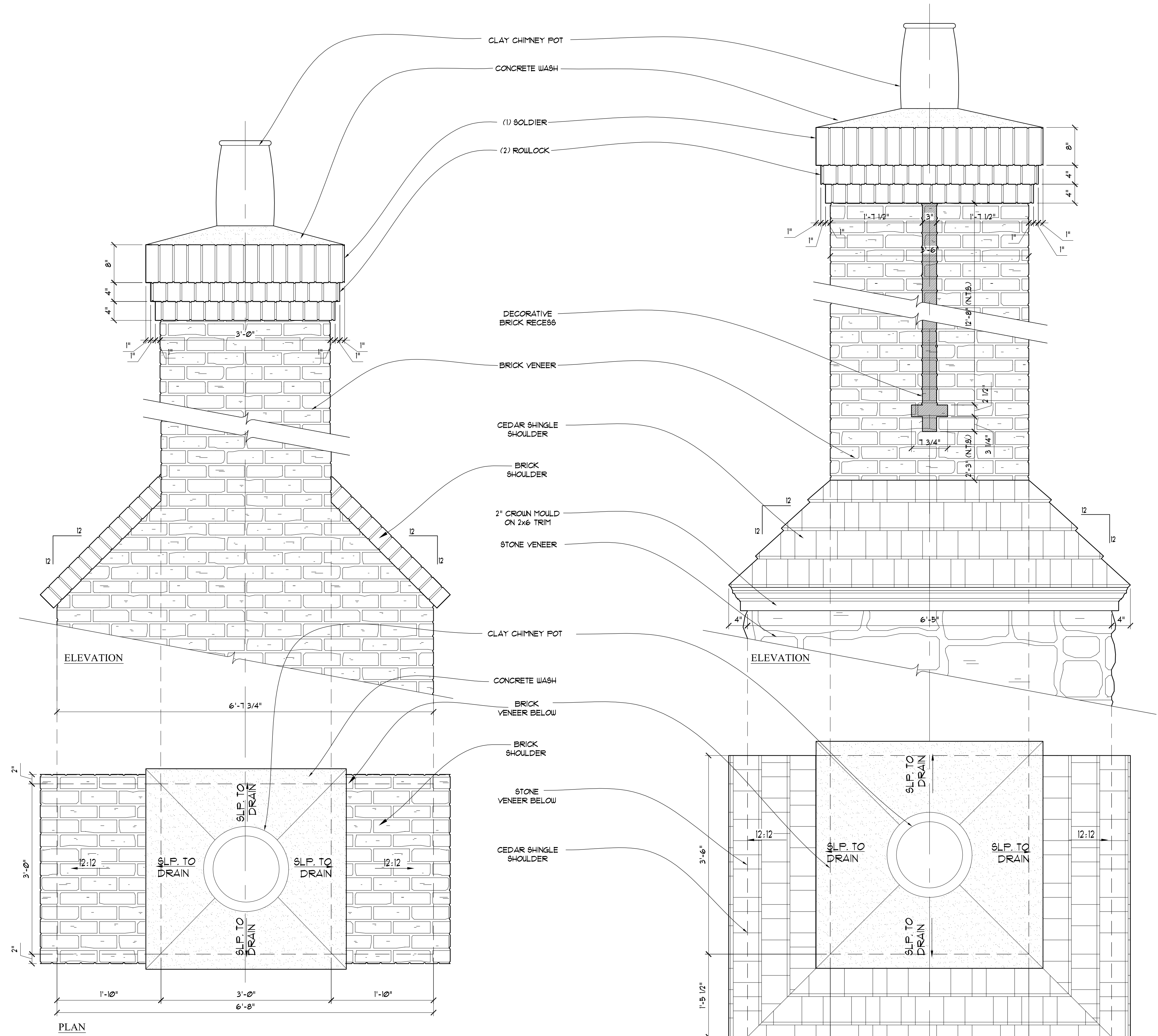


RANDALL MILL - LOT 1
RANDALL MILL RD.
ATLANTA, GEORGIA



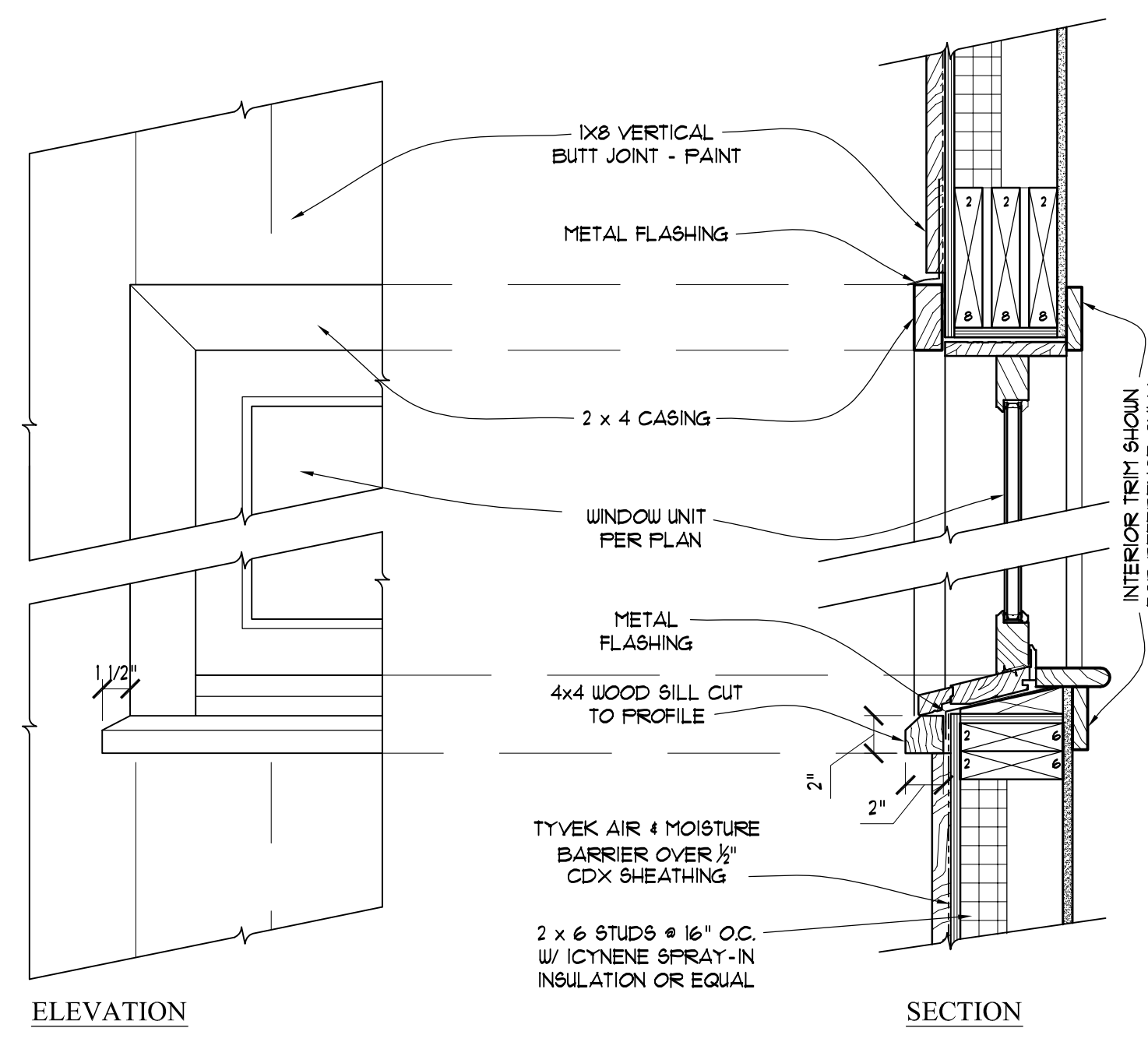
1B SECONDARY STAIR SECTION
A.3.5 SCALE: 1/2" = 1'-0"

1A MAIN STAIR SECTION
A.3.5 SCALE: 1/2" = 1'-0"

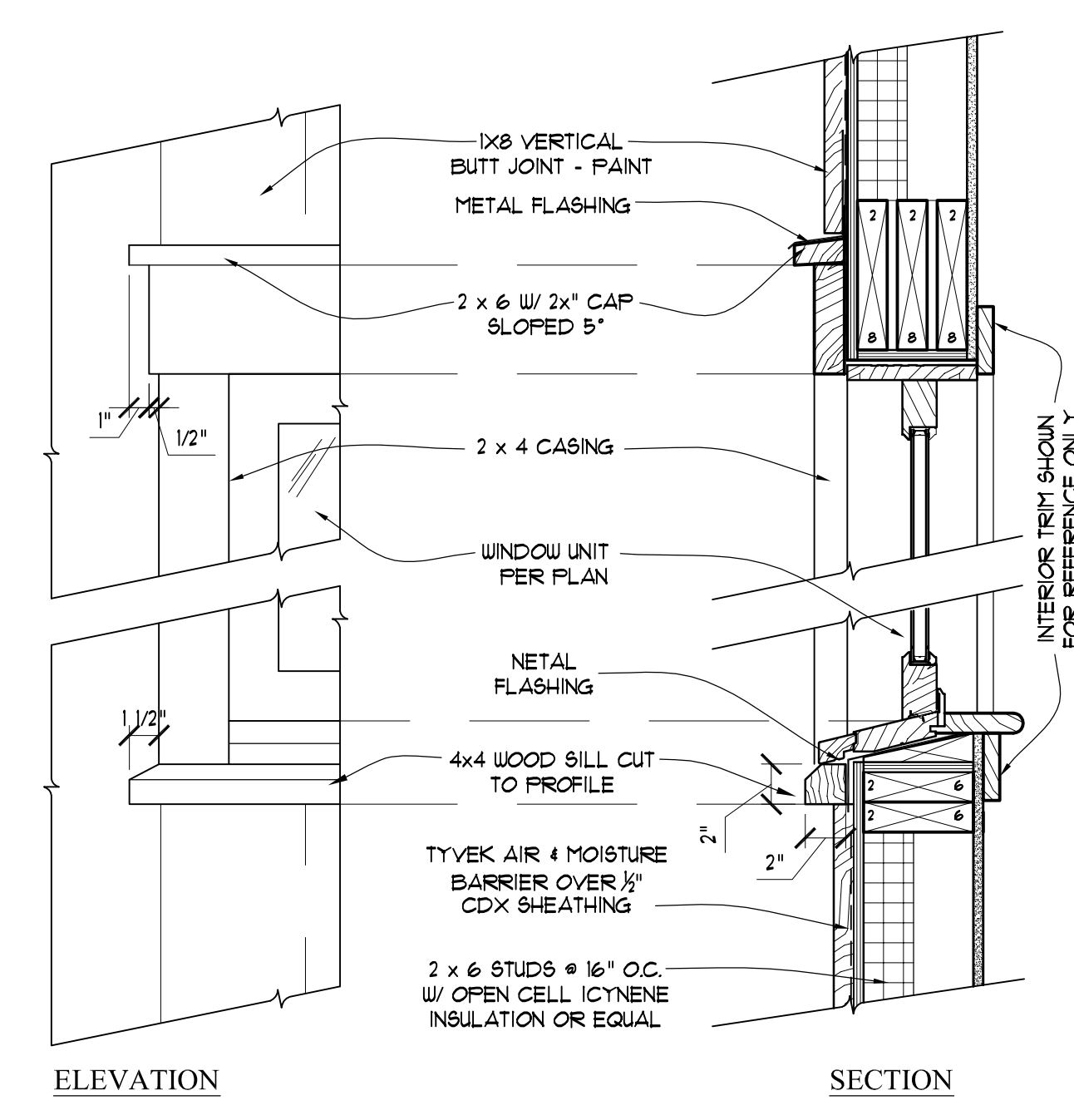


2 CHIMNEY DETAIL @ SITTING AREA
A.3.5 SCALE: 1" = 1'-0"

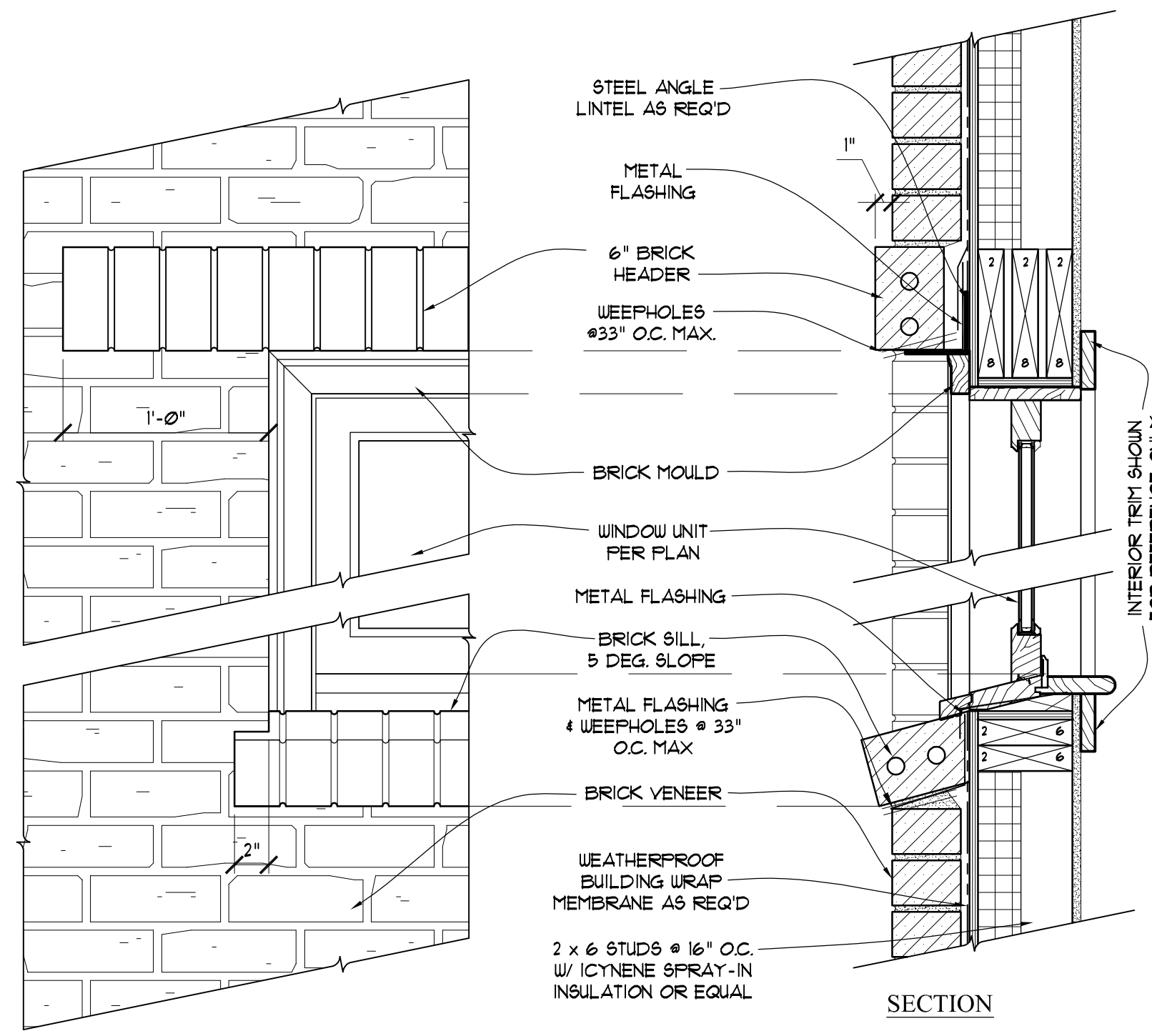
3 CHIMNEY DETAIL @ STUDY
A.3.5 SCALE: 1" = 1'-0"



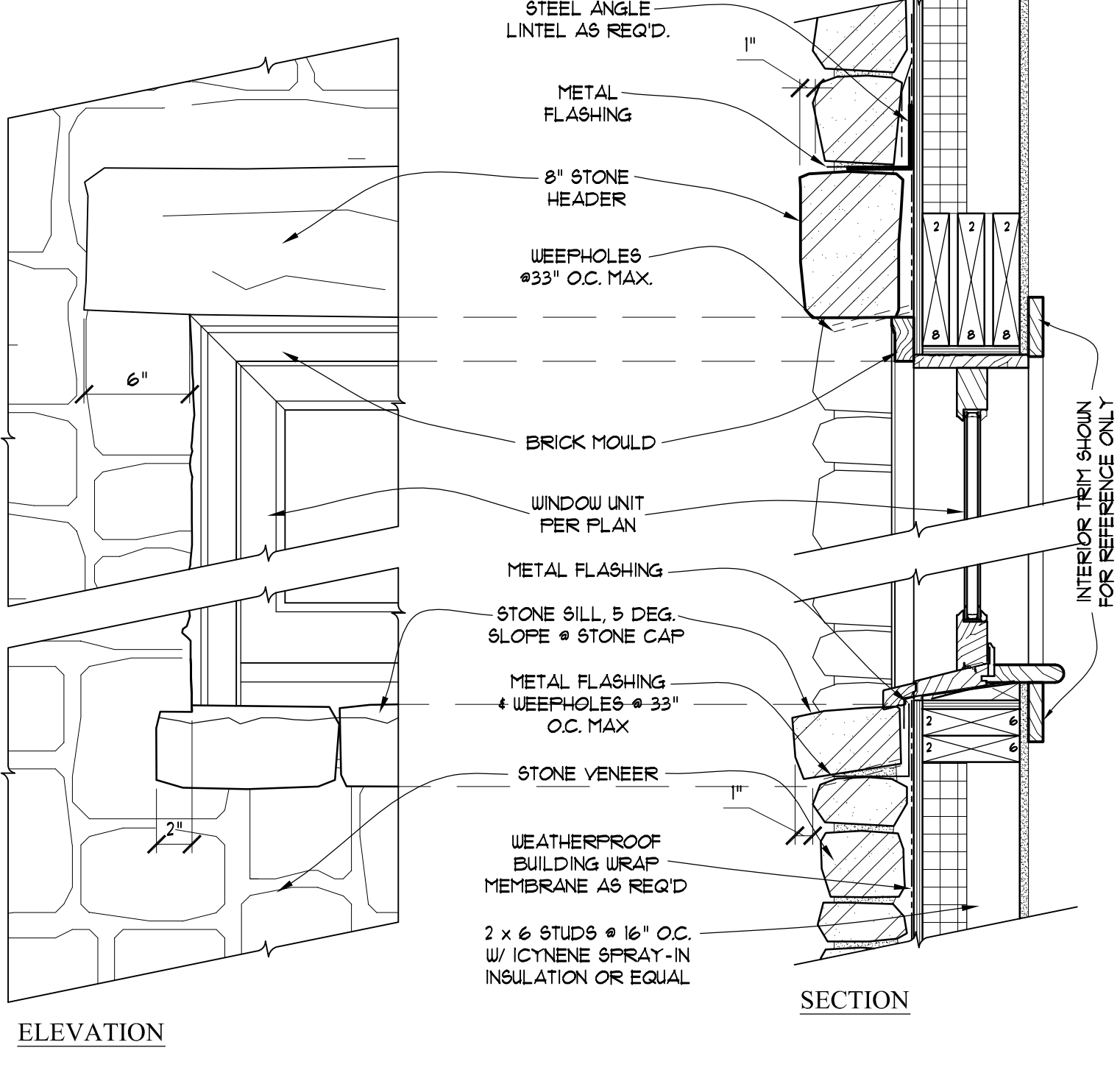
4 WINDOW DETAIL @ WOOD
A.3.5 SCALE: 1 1/2" = 1'-0"



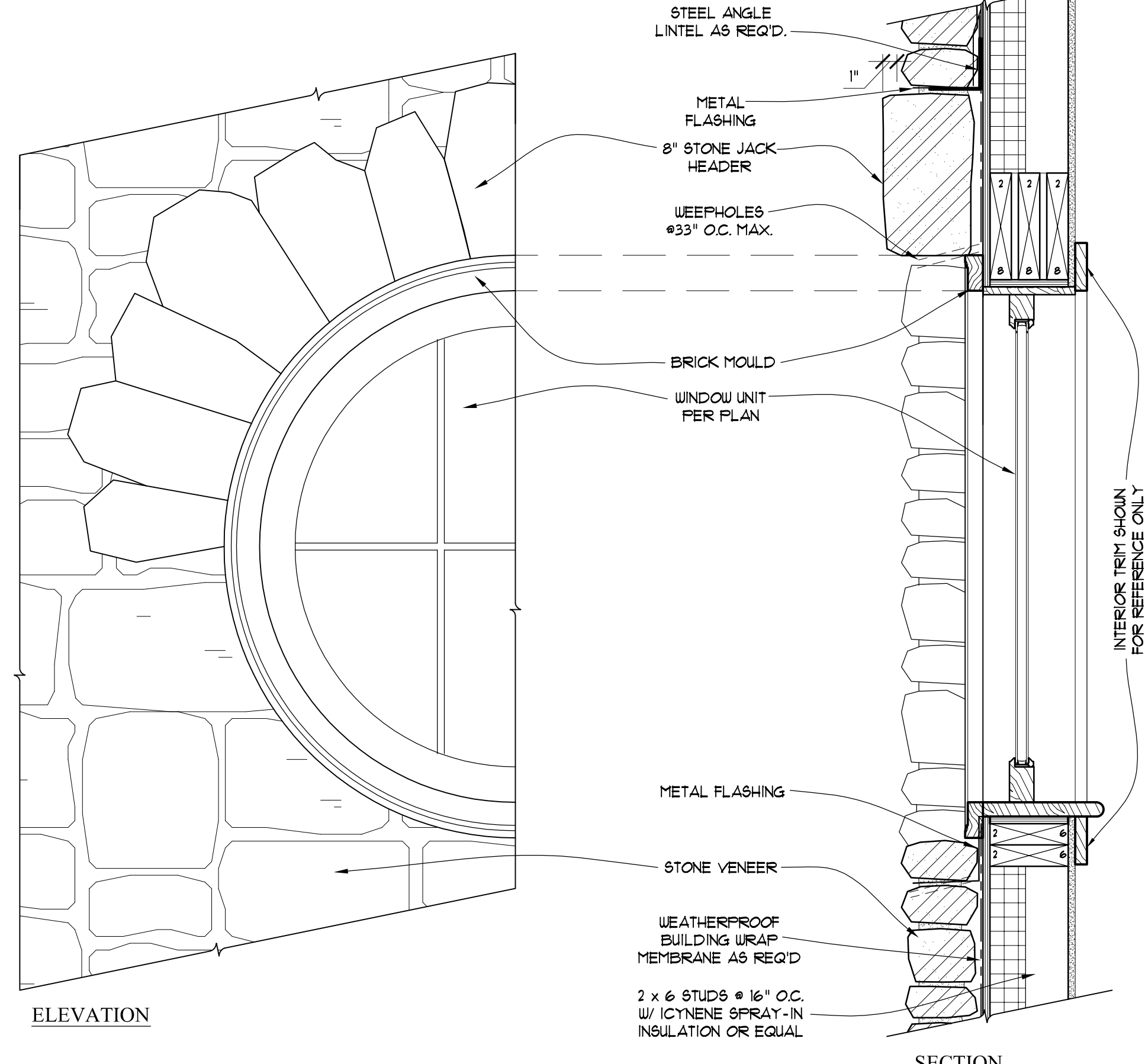
5 WINDOW DETAIL @ WOOD
A.3.5 SCALE: 1 1/2" = 1'-0"



6 WINDOW DETAIL @ BRICK
A.3.5 SCALE: 1 1/2" = 1'-0"



7 WINDOW DETAIL @ STONE
A.3.5 SCALE: 1 1/2" = 1'-0"



8 WINDOW DETAIL @ STONE
A.3.5 SCALE: 1 1/2" = 1'-0"